



**AGENDA
CITY OF BELTON
PLANNING COMMISSION
MEETING & PUBLIC HEARING
MONDAY, NOVEMBER 7, 2016 - 6:00 P.M.
CITY HALL ANNEX, 520 MAIN STREET**

- I. **CALL MEETING TO ORDER**

- II. **ROLL CALL**

- III. **APPROVAL OF THE MINUTES OF THE AUGUST 15, 2016 PLANNING COMMISSION MEETING**

- IV. **CONSIDERATION**
 - A. Consideration of the Final Development Plan for a Kneaders Bakery in Lot 4, Belton Gateway Addition Unit No. 2 at 621 East Markey Parkway.

 - B. Consideration of a Final Development Plan for a Multi-Tenant Retail Shopping Center in Lot 1, Belton Gateway Addition Unit No. 2 at 531, 535, 539, 541, and 545 East Markey Parkway.

- V. **GENERAL DISCUSSION**
 - A. Presentation from the City Engineer regarding the proposed FY 2018 Capital Improvement Plan.

- VI. **DIRECTOR'S REPORT**

- VII. **NEXT MEETING DATE: November 21, 2016**

- VIII. **ADJOURNMENT**

MEETING MINUTES

AUGUST 15, 2016

**Minutes of Meeting
Belton Planning Commission
City Hall Annex, 520 Main Street
August 15, 2016**

CALL TO ORDER

Chairman Girgin called the meeting to order at 6:00 p.m.

ATTENDANCE

Commission: Chairman Holly Girgin, Mayor Jeff Davis, Councilman Chet Trutzel, Commissioners Sally Davila, Tim McDonough, Scott Swaggart, and Charles Crate.

Staff: Jay Leipzig, Community and Economic Development Director; Megan McGuire, City Attorney; Robert Cooper, City Planner; Ashley Scherer, Community Development Administrative Assistant.

Absent: Commissioners Chris Christensen and Larry Thompson.

Guests: Mike Neighbors, Cass County Development, LLC, P.O. Box 480811, Kansas City, Missouri

ELECTION OF OFFICERS

Commissioner McDonough nominated Chris Christensen as Vice-chairman. The motion was seconded by Mayor Davis. All members present voted in favor and Chris Christensen was elected Vice-chairman.

Commissioner Davila nominated Holly Girgin as Chairman. The motion was seconded by Commissioner McDonough. All member voted in favor and Holly Girgin was elected Chairman.

MINUTES

Commissioner Davila moved to approve the July 18, 2016 Planning Commission meeting minutes. The motion was seconded by Councilman Trutzel. All members present voted in favor and the motion carried.

PUBLIC HEARING- Consideration of a Zone Change from M-1 (Light Manufacturing) District to C-2 (General Commercial) District, for a 0.66-acre tract of land, addressed as 17229 S. Outer Road, in the City of Belton, Cass County, Missouri.

Currently on the property is a sixty-four foot by twenty-foot structure, constructed in 1960, which has been used periodically as an office space for Ferrell Gas Company. The site has an eight-foot chain-link fence surrounding the property. Cass County Development, LLC has expressed a desire to change the current zoning to commercial zoning, in an effort to attract a commercial developer.

The dominant zoning for this area is C-2 (General Commercial) and rezoning the property would expand the C-2 and would not create a spot zone. The area of the proposed zone change is located within the Outer Road Redevelopment corridor. The Future Land Use Committee is considering an amendment to the Future Land Use Map and suggesting a shift in land use away from manufacturing to commercial/retail for the string of lots with frontage along the Outer Road.

Chairman Girgin opened the public hearing at 6:10 p.m. The hearing was being held to receive public input regarding Consideration of a Zone Change from M-1 (Light Manufacturing) District to C-2 (General Commercial) District, for a 0.66-acre tract of land, addressed as 17229 S. Outer Road, in the City of Belton, Cass County Missouri.

There was no public input regarding Consideration of a Zone Change from M-1 (Light Manufacturing) District to C-2 (General Commercial) District, for a 0.66-acre tract of land, addressed as 17229 S. Outer Road, in the City of Belton, Cass County Missouri. Chairman Girgin closed the public hearing at 6:15 p.m.

It was pointed out that there will be no access from this property to Bel-Ray Place because the property backs up to another parcel. However, additional access has been discussed for other parcels to provide access to Bel-Ray Place. Councilman Trutzel pointed out that there will be transportation limitations in that area regardless of what the property is zoned. Mr. Cooper stated the property is 0.66-acre in size and there are not many things you could do with the property zoned as an M-1 because of the size of the land. Commissioner McDonough questioned if they would be able to overlap parking lots with Frankie and Johnny's. Mr. Cooper stated that we would encourage them to do so, however the property owner has not been in touch with Frankie and Johnny's to discuss this.

Councilman Trutzel moved to approve the Consideration of a Zone Change from M-1 (Light Manufacturing) District to C-2 (General Commercial) District, for a 0.66-acre tract of land, addressed as 17229 S. Outer Road, in the City of Belton, Cass County Missouri.

The motion was seconded by Commissioner Crate. When a vote was taken the following was recorded: Ayes, 7 – Chairman Girgin, Mayor Davis, Councilman Trutzel, Commissioners Davila, McDonough, Crate and Swaggart.

Noes, 0.

Absent, 2 – Commissioner Christensen and Thompson.

The motion carried and will be forwarded to the City Council for review and approval.

CONTINUATION OF DISCUSSION AND RECOMMENDATION- TA16-11 / Consideration of a Text Amendment, regarding the Keeping of Poultry.

Over the last several months, city staff has received many comments, concerns and general questions from the public concerning the city's regulations regarding the raising and harboring of chickens in residential zoning districts. City staff has been meeting monthly with the Code Enforcement Advisory Committee, which has discussed, at length, the city's existing regulations and its effectiveness and a thorough review of other cities ordinances which regulate the keeping of chickens.

During the Planning Commission's June 6th, public hearing, brought to light, the many perceived benefits and detriments of raising chickens such as: raising chickens promote a healthy lifestyle; chickens help reduce the insect population by eating bugs, etc; some pet animals are more noisy than chickens; chicken coops produce odors; the appearance of chicken coops are unsightly; they reduce property values; and chickens are noisy.

After the public hearing was closed, however, the discussion was continued to the July 18th meeting, to allow staff additional time to re-evaluate the proposed code language, research other municipal codes, and rewrite the poultry ordinance in an effort to establish a balanced set of standards.

Below are the proposed changes in italics.

PROPOSED LANGUAGE / SECTION 6-4(g) – Keeping of Poultry.

ARTICLE 1 – POULTRY

DEFINITION:POULTRY

“Domesticated fowl, such as chickens, turkeys, ducks, or geese, raised for meat or eggs.

Section 1.01 – Keeping of Poultry.

- (1) Ducks, geese, turkeys, or chicken roosters are prohibited.*
- (2) With an approved permit and site plan, chicken hens are permitted only in Residential and Agricultural zoning districts and only under the following conditions:*
 - (a) No chicken hens shall be allowed on lots less than 8,400-square feet;*
 - (b) Lot sizes 8,400-sq. ft. up to 43,560-sq. ft. (1-acre) shall allow no more than four (4) chicken hens;*
 - (c) Lot sizes larger than 43,560 sq. ft. shall allow no more than eight (8) chicken hens; All other provisions of this Ordinance shall apply.*
 - (d) Chicken hens shall be maintained and kept in the rear yard only;*
 - (e) Chicken hens shall not be allowed to roam free unless chicken hens are within an enclosed chicken hen yard, not to exceed 100-sq. ft. in size.*

Section 1.02 – Enclosures.

- (1) Henhouses and chicken hen coops shall be kept in a clean, dry, odor free and sanitary condition at all times;*
- (2) Henhouses and chicken hen coops shall be designed to provide a safe and healthy living conditions for the chicken hens, while minimizing adverse impacts to other neighboring residents;*
 - (a) A henhouse or chicken hen coop shall be enclosed on all sides and shall have a roof and doors. Access doors must be shut and locked at night. Windows and vents must be covered with predator-bird proof wire of less than 1-inch openings.*
- (3) Henhouses or chicken hen coops shall be setback no less than five feet (5') from a property line and no less than sixty-feet (60') from any neighboring residence;*

- (4) *There shall be a distance of no less than ten-feet (10') between the chicken hens owner's residence and the chicken hen coop;*
- (5) *A full or partial six-foot wood privacy fence shall be installed along the rear and side property lines; OR A row of evergreen shrubs, similar plantings (high opacity) shall be planted between the coop and the property line to provide an additional buffer from noise, sight and sound;*
- (6) *Henhouses, chicken hen coops and other accessory structures shall meet the requirements as outlined in Chapter(s) 1.5 and 4.1 of the Belton Unified Development Code.*

Section 1.03 – Nonconforming Number of Chickens / Violation.

- (1) *Existing chicken hen owners not in compliance with this code shall have sixty (60) days to comply;*
- (2) *Failure to comply with the regulations outlined in this code shall be deemed a violation and therefore subject to the enforcement provisions.*

Mr. Leipzig stated in Section 1.02-Enclosures items (1) and (2) should read as follows (with the changes made in *italics*):

- (1) *Henhouses or chicken hen coops shall be kept in a clean, dry, odor free and sanitary condition at all times;*
- (2) *Henhouses or chicken hen coops shall be designed to provide a safe and healthy living conditions for the chicken hens, while minimizing adverse impacts to other neighboring residents;*

Jodie Powell, 16203 Oakland Avenue, provided comments the afternoon of Monday, August 15, 2016 for staff review. Comments were provided to the Commissioners that evening at the meeting.

It was pointed out in the proposed ordinance a chicken yard and coop cannot exceed 100-square feet. Mayor Davis asked if there was any reference to corner lots in the proposed language. Mr. Cooper stated that the sixty-feet from any residence to the coop covers all properties. The only other way to address corner lots would be to prohibit chicken hens from corner lots.

An example site plan was provided to represent what an official application would look like. The site plan would include property lines, neighboring homes, fence and shrub locations, and the location of the proposed chicken coop. Commissioner Crate commented that the fencing and landscaping should be in the line-of-site so the neighbors are not required to look at the chicken coop.

Ms. McGuire stated that they city is trying to provide options for those who want chickens desperately enough to go through the requirements to keep them inside the city limits and balance with the rights of their neighbors for peaceful enjoyment of their property. Ms. McGuire referenced Section 1.02 – Enclosures (5) *A full or partial six-foot wood privacy fence shall be installed along the rear and side property lines; OR A row of evergreen shrubs, similar plantings (high opacity) shall be planted between the coop and the property line to provide an additional buffer from noise, sight and sound.* The intent of

Section 1.02(5) is to provide a buffer from the noise, sight and sound. The city still has a public nuisance clause that could also address those issues if they were to come up in the future.

Mayor Davis called to cease discussion. Councilman Trutzel seconded the motion. All members present voted in favor and the motion carried.

Commissioner Davila moved to approve TA16-11/Consideration of a Text Amendment, regarding the Keeping of Poultry.

The motion was seconded by Councilman Trutzel. When a vote was taken the following was recorded:
Ayes, 5 – Chairman Girgin, Councilman Trutzel, Commissioners Davila, McDonough and Crate.
Noes, 2 – Mayor Davis and Commissioner Swaggart.
Absent, 2 – Commissioner Christensen and Thompson.

The motion passed and the ordinance will be forwarded to the City Council for review and approval.

DIRECTOR'S REPORT

- Autumn Woods started work on August 12, 2016.
- Freddy's Frozen Custard is scheduled to open on August 23, 2016.
- The City is currently recruiting for a Certified Building Official. The first review of applicants is September 2, 2016.
- Public Works is working on Capital Improvement Plans and will have the draft ready for the next Planning Commission meeting on September 19, 2016.
- The site plan for Gateway Phase 2 will be presented to the Planning Commission on October 3, 2016.
- The Future Land Use Map discussion will come to the Planning Commission on October 17, 2016.
- Menards is scheduled to open October 29, 2016.
- Brewbakers Bar & Grill is scheduled to open in January 2017.
- Discussion was had on not allowing tire shops to keep tires outside overnight. Citing the Zika Virus and standing water as a concern. This issue will be turned over to Code Enforcement.
- The next meeting date is September 19, 2016.

ADJOURNMENT

Commissioner McDonough moved to adjourn the meeting. The motion was seconded by Commissioner Crate. All voted in favor and the meeting adjourned at 6:54 p.m.

Ashley Scherer
Community Development Administrative Assistant

**Consideration of the Final Development Plan
for a Kneaders Bakery in Lot 4, Belton
Gateway Addition Unit No. 2 at 621 East
Markey Parkway.**



FINAL DEVELOPMENT PLAN
LOT 4, BELTON GATEWAY ADDITION UNIT NO. 2

PLANNING COMMISSION
MONDAY, NOVEMBER 7, 2016 –6:00 P.M.
CITY HALL ANNEX, 520 MAIN STREET

Assigned staff: Jay C. Leipzig, Director and Zach Matteo, City Engineer

CASE #FDP16-0071

Consideration of Final Development Plan approval for a 4,120-sq. ft. commercial building – Kneader’s Bakery and Café, a fast-casual drive-thru restaurant on Lot 4 of the Belton Gateway Addition Unit, a 1.16-acre tract of land, addressed as 621 E. Markey Parkway.

PROPOSED PROJECT DEVELOPMENT

Current Zoning: C-2 (General Commercial) District.

Property Description: Belton Gateway Unit No. 2, Lot 4

Size of Site: 4,120-sq. ft. / 1.16-acre(s)

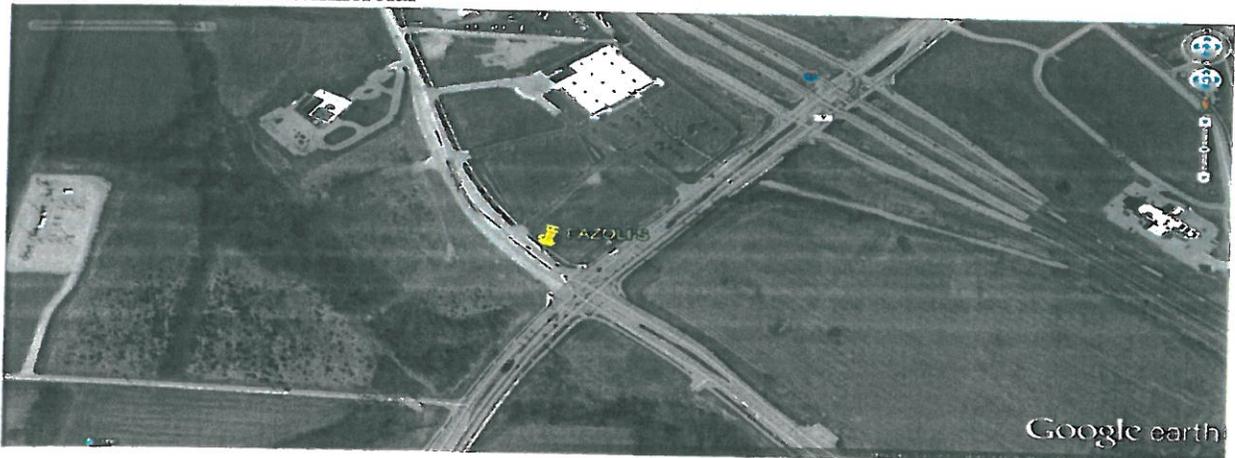
SURROUNDING ZONING / USE

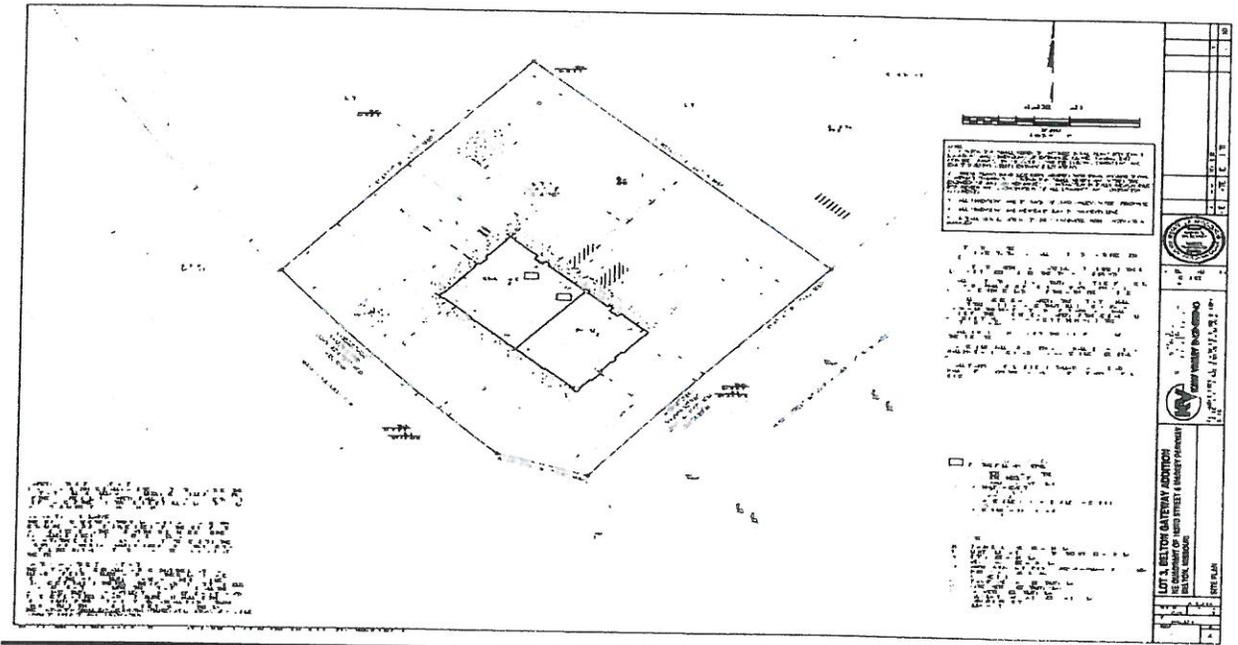
West: C-2 /General Commercial

East: C-2 /General Commercial

North: C-2 /General Commercial

South: C-2 /General Commercial





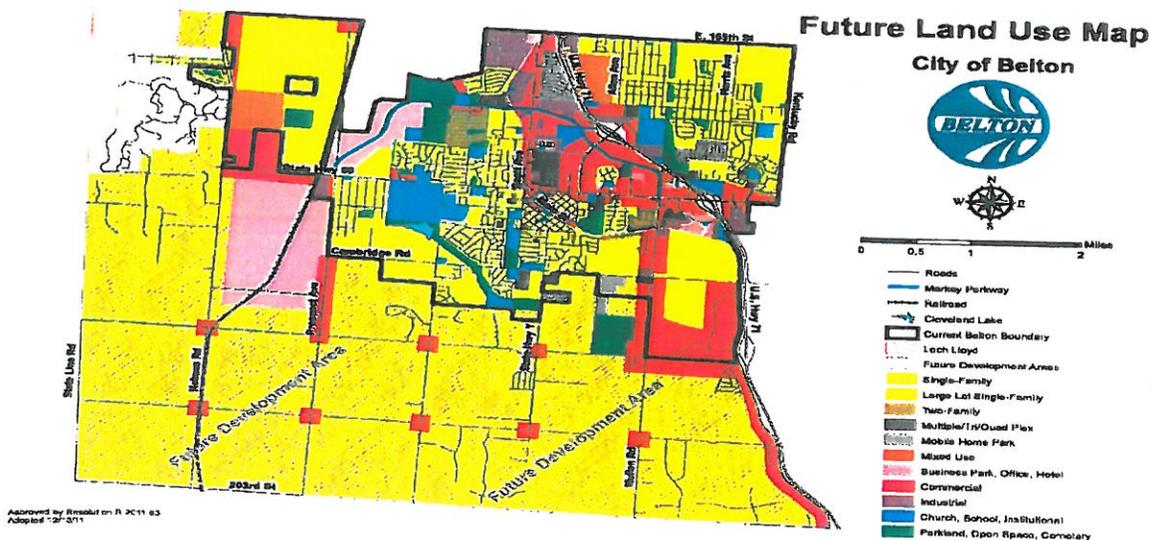
REVIEW

The developer has submitted the proposed site plans for this project, and has identified the following key elements.

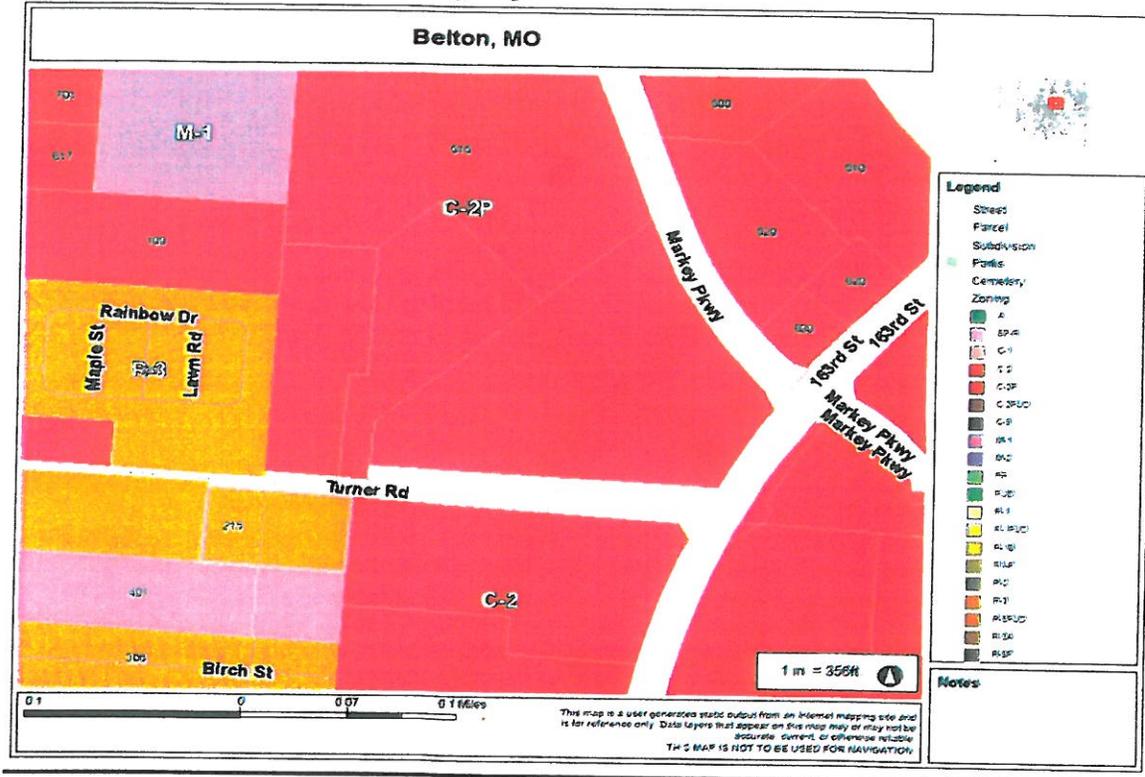
Site Dimensions: 50,426-sq. ft. or 1.16-acre(s).

Intended Use: Retail / Restaurant (4,120-SF) fast-casual drive-thru restaurant.

Future Land Use Map: The subject site is located within the city's primary commercial/retail corridor and is consistent with the Future Land Use Map.



Official Zoning Map: The proposed site is zoned C-2P - General Commercial and is in conformance with the Official Zoning Map.



Height & Dimension of Building: The proposed building will be 4,120-sq. ft. with a maximum building height of 23-feet.

Conceptual Elevation: The general appearance of the building will be a stucco, brick and cast-stone mix.

Driveway: The site will be part of the Belton Gateway Development, which is a combination of multiple interconnecting parking lots. The primary access will be from Markey Parkway, immediately north and east of the Markey Parkway / 163rd Street traffic signal.

Parking: The site will provide for 41 parking spaces which include two (2) handicap stalls. Along with a 13-foot wide drive-thru.

Signage: Pursuant to City code, wall mounted signs are an acceptable form of signage in a C-2 (General Commercial) zoning district. The Belton Gateway site does have an existing monument sign located on the southeast corner of the site, and all signage will be consistent with the master signage plan submitted by the developer.

Landscaping: Pursuant to the Landscape Ordinance, the site will be irrigated and landscaped with multiple native plantings, shrubs and sod.

FINAL DEVELOPEMNT PLAN

STAFF'S REVIEW COMMENTS

Planning:

All staff comments have been addressed and the project meets all requirements for a Final Development Plan submission in accordance with Chapter 20-6 of the Unified Development Code.

Upon completion of the project, the developer shall provide a landscape escrow in the form of cash or irrevocable letter of credit in the amount of 25 percent (25%) of estimated cost in accordance with Chapter 22-18 of the Unified Development Code.

Engineering:

1. Participation in the Markey Regional Detention program in lieu of on-site detention requires execution by the developer and City of the standard "Agreement Regarding the Use of the Markey Regional Detention Facility In Lieu of Providing On Site or Other Private Detention"
2. Provide backflow vault and preventer for private fire line if length of line exceeds 100 feet.
3. Construct 10-foot walking trail on Markey Parkway frontage per City standards.
4. Revise plans to include two hydrants per plan mark-ups emailed by Dave Olson with Christie Development on October 7, 2016.

Building Inspections:

The Building Division has no comments on the site plan. However, the proposed elevations meet the required articulation requirements.

All construction must meet 2012 International Code.

Fire Department:

All staff comments have been addressed with the Belton Fire Department.

PLANNING COMMISSION ACTION

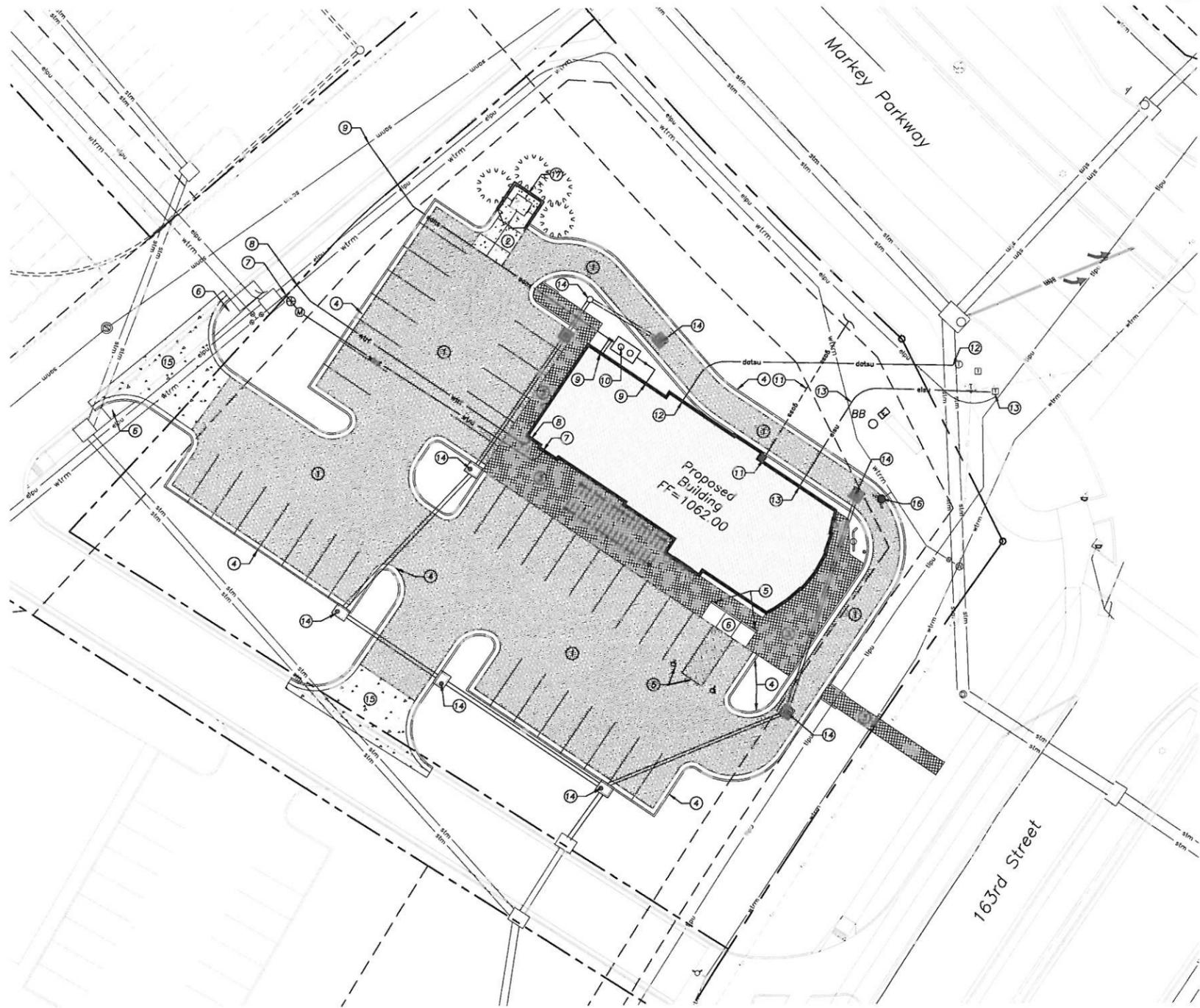
1. Motion to approve the Final Development Plan for Block 1, Belton Gateway Unit No. 2 as submitted.

ATTACHMENTS

1. Final Development Plan
2. Building Elevation(s)
3. Landscape Plan

ATTACHMENT 1

Final Development Plan



Utility Notes

- Boundary information, existing utilities and topographic features shown are based on information supplied by surveyor and others.
- The existing utility locations shown on these plans are approximate and may not include all utility lines present. The contractor shall be responsible to call MO ONE CALL and identify field location of all existing underground utilities prior to beginning excavation/construction activities.
- The contractor shall be responsible for any damage to any utilities or their structures during excavation/construction activities.
- The contractor shall coordinate all main taps and utility services, both temporary and permanent with the city and/or respective utility.
- Utilities shown on the plan with specific elevations and/or structure locations are SUE quality level "B", i.e. storm sewer, sanitary sewer, water hydrants & valves and other above-grade utilities. All other existing utility information shown is SUE quality level "D", primarily retracement of one-call records.

Property Legend

- Right-of-way
- Property Line
- Easements



Utility Legend

- | | | | |
|----------|----------|-------------------------------------|--|
| existing | proposed | | |
| sanm | sanm | sanitary main | |
| sanss | sanss | sanitary service | |
| sssm | sssm | storm sewer (solid wall) | |
| ssps | ssps | storm sewer (perforated) | |
| wtrm | wtrm | water main | |
| wtrf | wtrf | water service (fire) | |
| wtrd | wtrd | water service (domestic) | |
| fh | fh | fire hydrant coverage (300' radius) | |
| gasm | gasm | natural gas main | |
| gass | gass | natural gas service | |
| epo | epo | overhead primary electric | |
| epu | epu | underground primary electric | |
| esu | esu | underground secondary electric | |
| data | data | phone/cable/data feeder | |
| leis | leis | phone/cable/data service | |

Symbols

- sanitary manhole
- service cleanout
- rectangular structure
- combination inlet w/circular basin
- fire hydrant
- water valve
- water meter
- backflow preventer
- natural gas meter
- service transformer (pad mount)
- street light
- pedestrian street light
- pedestrian lighting
- drive/parking lighting
- sectionalizer

Construction Legend

- concrete pavement
- asphalt pavement
- concrete sidewalk
- standard dry curb & gutter
- standard curb & gutter
- temporary asphalt curb

Utility Contacts

- Sanitary/Storm Sewer - City of Belton - phone (816) 322-1885
- Water - City of Belton - phone (816) 578-2249
- Gas - Missouri Gas Energy - phone (816) 472-3434
- Electric - KCP&L - phone (816) 420-4803
- Telephone - AT&T - phone (816) 325-6520

Floodplain Note:

The site lies entirely in 'Zone X', or areas determined to be outside the 0.2% annual chance floodplain

Construction Notes:

- Construct asphalt pavement (see construction legend)
- Construct concrete pavement (see construction legend)
- Construct concrete sidewalk (see construction legend)
- Construct standard/standard dry curb & gutter (see construction legend)
- ADA signage, striping, and universal symbol, typ. Re: A1.1
- Construct public ADA accessible sidewalk ramp per city standards.
- Proposed domestic water service line.
- Proposed fire service line.
- Proposed sanitary sewer service.
- Proposed grease interceptor.
- Proposed natural gas service line & meter.
- Proposed telecom/data service conduit.
- Proposed secondary electrical service to building from existing pad mount transformer.
- Proposed storm sewer, re: C3.1, typ.
- Construct concrete commercial entrance per City standards.
- Existing fire hydrant to be relocated, by others.
- Trash Enclosure, re: A1.1

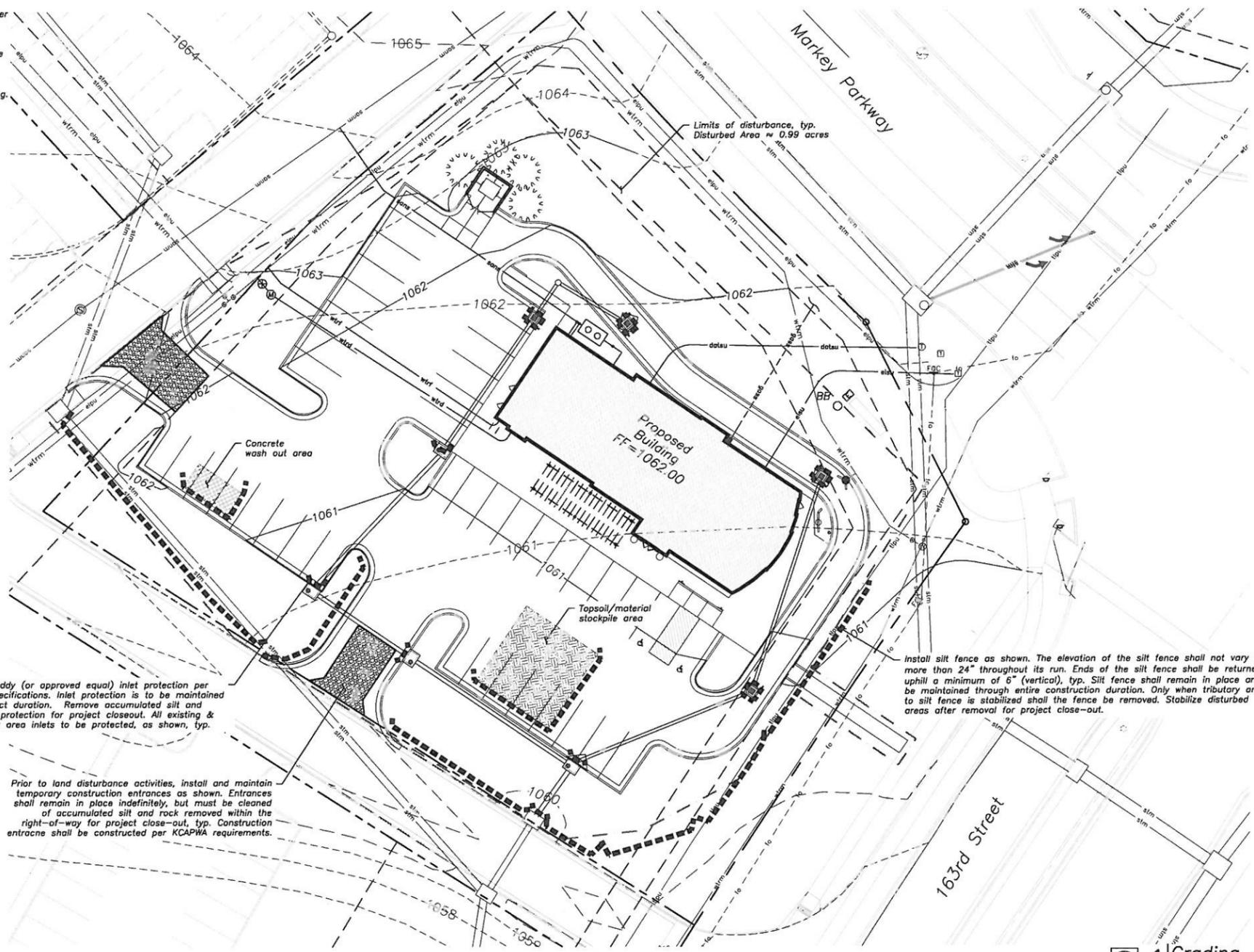


a new development for
Kneaders Bakery
 SWC of Markey & Highway Y
 Belton, MO

date 09.09.16
 drawn by SML
 checked by PAM
 revisions

sheet number
C1.1
 drawing type preliminary
 project number 16185

- NOTE:**
- All Erosion control measures shall be current KCAPWA standards and per City of Belton standard details.
 - Erosion control inspections shall be completed weekly or after any rainfall event that causes runoff. Once the site has been stabilized, the City of Belton Engineering Division requires a copy of the contractor's erosion control inspection reports.
 - Topsoil on the site shall be stockpiled and reutilized during final grading.

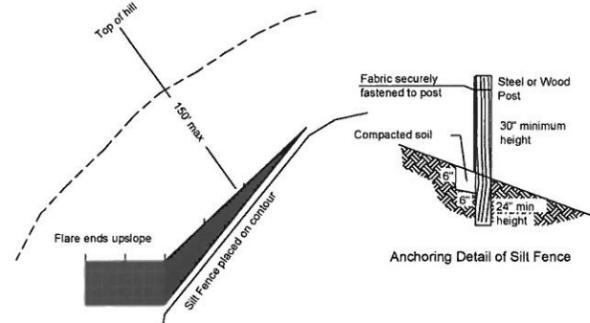


Install Gutter-Buddy (or approved equal) inlet protection per manufacturer specifications. Inlet protection is to be maintained throughout project duration. Remove accumulated silt and dispose of inlet protection for project close-out. All existing & proposed project area inlets to be protected, as shown, typ.

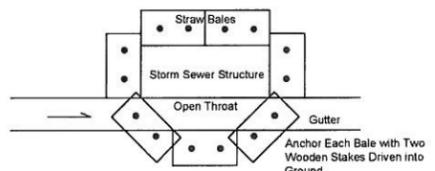
Prior to land disturbance activities, install and maintain temporary construction entrances as shown. Entrances shall remain in place indefinitely, but must be cleaned of accumulated silt and rock removed within the right-of-way for project close-out, typ. Construction entrances shall be constructed per KCAPWA requirements.

Install silt fence as shown. The elevation of the silt fence shall not vary by more than 24" throughout its run. Ends of the silt fence shall be returned uphill a minimum of 6" (vertical), typ. Silt fence shall remain in place and be maintained through entire construction duration. Only when tributary area to silt fence is stabilized shall the fence be removed. Stabilize disturbed areas after removal for project close-out.

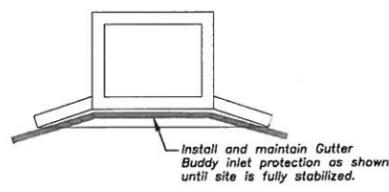
1 Grading & Erosion Control Plan
1"=20'
north



2 Silt Fence Erosion Control Detail
no scale



3 Storm Inlet Sediment Trap
no scale



4 Curb Inlet Protection Detail
no scale



Erosion Control Legend

- pre-clearing silt fence
- - - limits of disturbance
- ▨ topsoil stockpile area
- ▩ construction entrance
- ▧ concrete washout area
- ◻ inlet protection

- Utility Contacts**
- Sanitary/Storm Sewer - City of Belton - phone (816) 322-1885
 - Water - City of Belton - phone (816) 578-2249
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 - Electric - KCP&L - phone (816) 420-4803
 - Telephone - AT&T - phone (816) 325-6520

Grading Legend

- - - 999 - existing major contour (10')
- - - 999 - existing minor contour (2')
- - - 999 - proposed major contour (5')
- - - 999 - proposed minor contour (1')

a new development for
Kneaders
SWC of Markey & Highway Y
Belton, MO

date
09.09.16
drawn by
SML
checked by
PAM
revisions

sheet number
C2.1
drawing type
preliminary
project number
16185



2 Vicinity Map
not to scale north

Project Synopsis

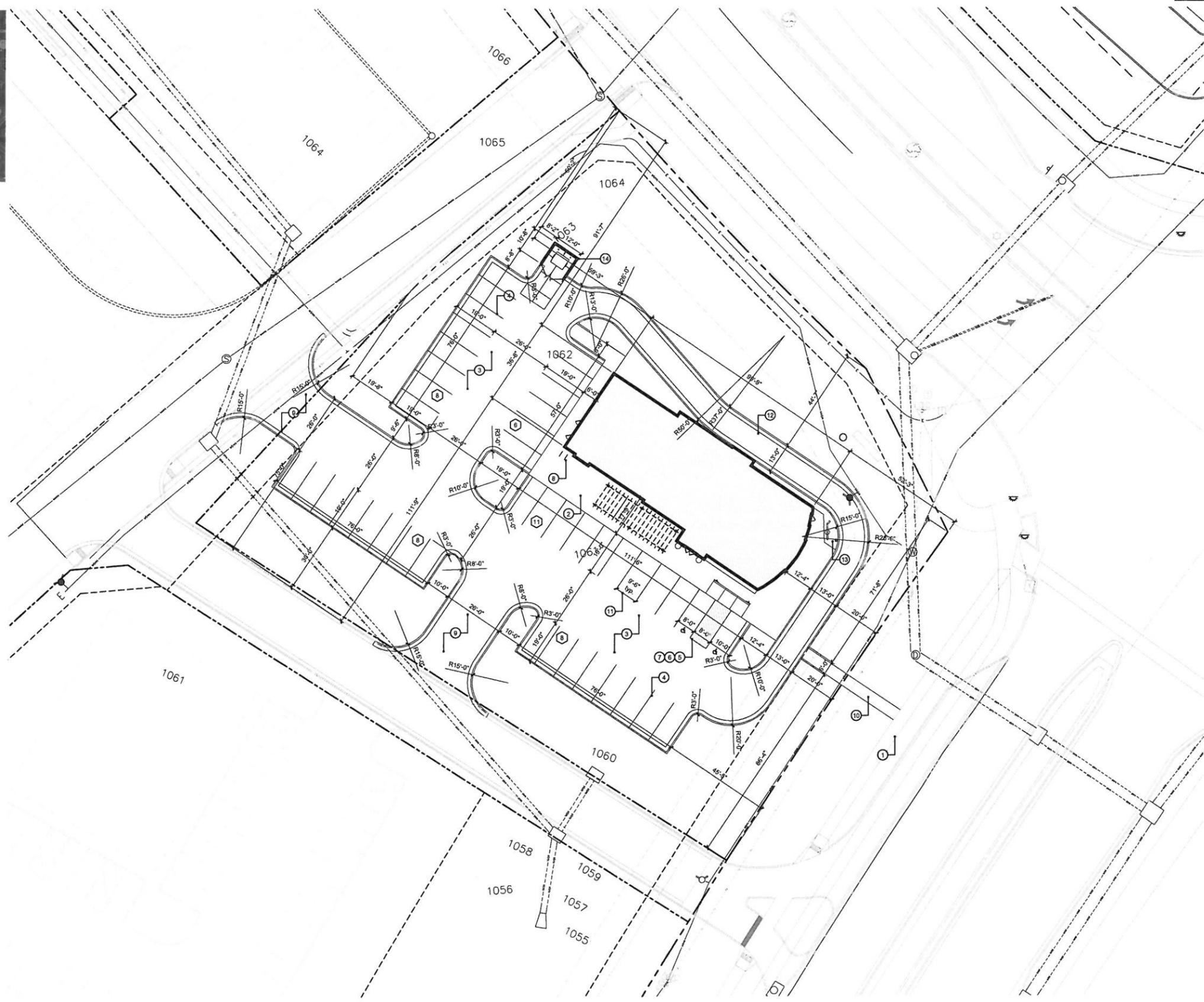
Governing Municipality: Belton, Missouri
 Governing Code: 2012 IBC
 Zoning: C2-P
 Occupancy: A-2 (restaurant)
 Site Area: 50,741 sq. ft., 1.16 acres
 Impervious Area: 27,385 sq. ft., 54% coverage
 Green Space: 23,356 sq. ft., 46% coverage, 20% min. required
 Building Area: 4,120 sq. ft.
 Floor Area Ratio: 8%
 Parking Required: 4,120 / 1,000 x 10 = 41 spaces
 Parking Provided: 41 spaces, 10 : 1,000 ratio
 Proposed Use: Fast Casual Drive Thru Restaurant

General Notes

All construction shall conform to the standards and specifications of the city of Belton, Missouri.
 The general contractor shall contact all utility companies prior to the start of construction and verify the location and depth of any utilities that may be encountered during construction.
 The general contractor shall field verify existing surface and subsurface ground conditions prior to the start of construction.
 Slopes shall maintain a maximum 3 : 1 slope for construction.
 The general contractor shall be responsible for obtaining all required permits, paying all fees and otherwise complying with all applicable regulations governing the project.
 Place silt fence as required for erosion control.
 Property owner will provide inspections of the private storm sewer system per the city of Belton stormwater management plan.
 All existing conditions per survey provided by owner.
 All site and building mounted signage requires a separate permit.
 A Knox Box will be installed on the front of the building facing the street or road.
 All private utilities to service this site are to be placed underground.
 All above ground termination points to be screened from view with appropriate landscaping or painted to match primary adjacent wall color.

Construction Notes

1. Exist. sidewalk within public right-of-way to remain.
2. Provide new conc. pedestrian sidewalk to meet Belton site design requirements for width. 4" thick w/ 6x8 10/10 w.w.f. steel mesh reinf. Control joints @ 5'-0" o.c. Broom finish for non-slip surface.
3. Asphalt & conc. parking lot paving & curbs to meet city of Belton, MO construction standards.
4. Parking lot striping shall be white w/ 4" stroke.
5. Provide ADA accessible ramps in sidewalk for pedestrian access to buildings & public way.
6. Handicap parking signage. Mount bot. of sign @ 36"-60" a.f.g. (see detail 4.1.1). Sign to contain the universal handicap symbol & 'van accessible' as req'd. Install within 5'-0" of stall & center w/ parking space (typ.)
7. Handicap striping & universal symbol painted blue w/ 4" stroke
8. Bicycle racks to be installed in designated location per site plan.
9. Vehicular curb cut access points into pad site coordinated and provided by overall site developer.
10. Provide accessible sidewalk access from building to public way per site plan.
11. Typ. parking space to be 19'-0" x 9'-6" w/ 20' drive aisle to meet developer standards.
12. Provide 13' wide drive thru vehicular access.
13. Provide order board & post in coordination with Owner.
14. Provide trash enclosure w/ conc. pad per architectural plans.



a pad site development for
Kneaders Bakery
 Lot 4
 Belton, Missouri

date
 09.09.16
 drawn by
 dAE
 checked by
 dAE
 revisions

sheet number

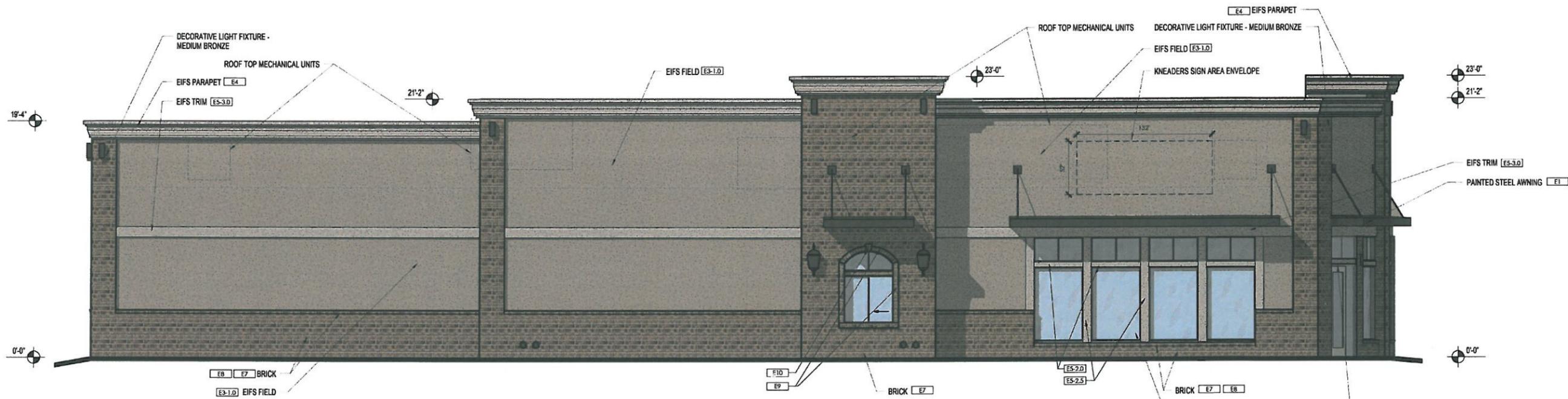
A1.1

drawing type
 planning

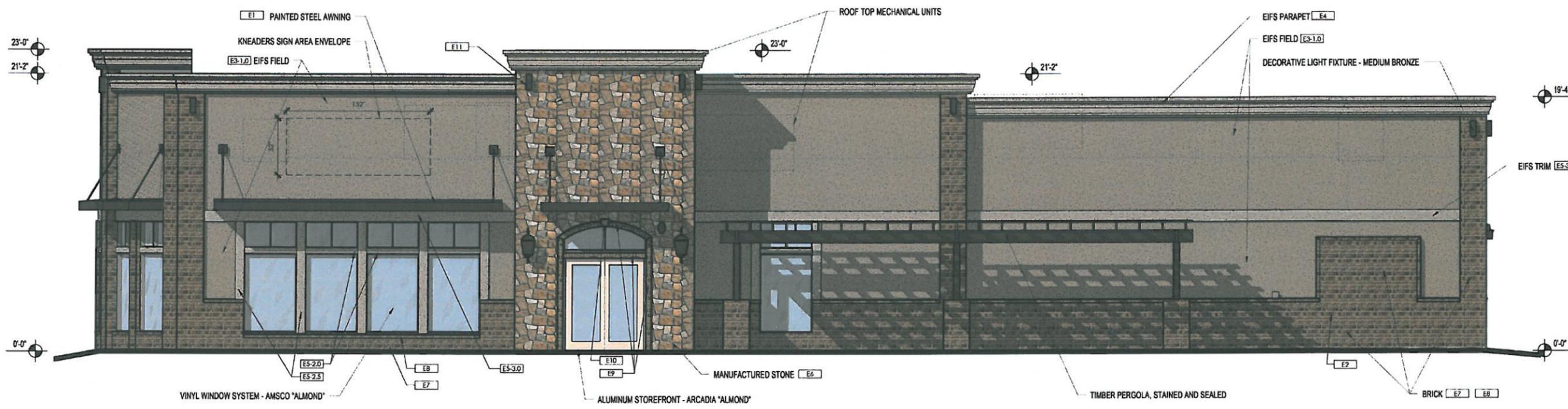
project number
 16185

1 Site Plan
 scale: 1" = 20'-0" north

ATTACHMENT 2
Building Elevation(s)

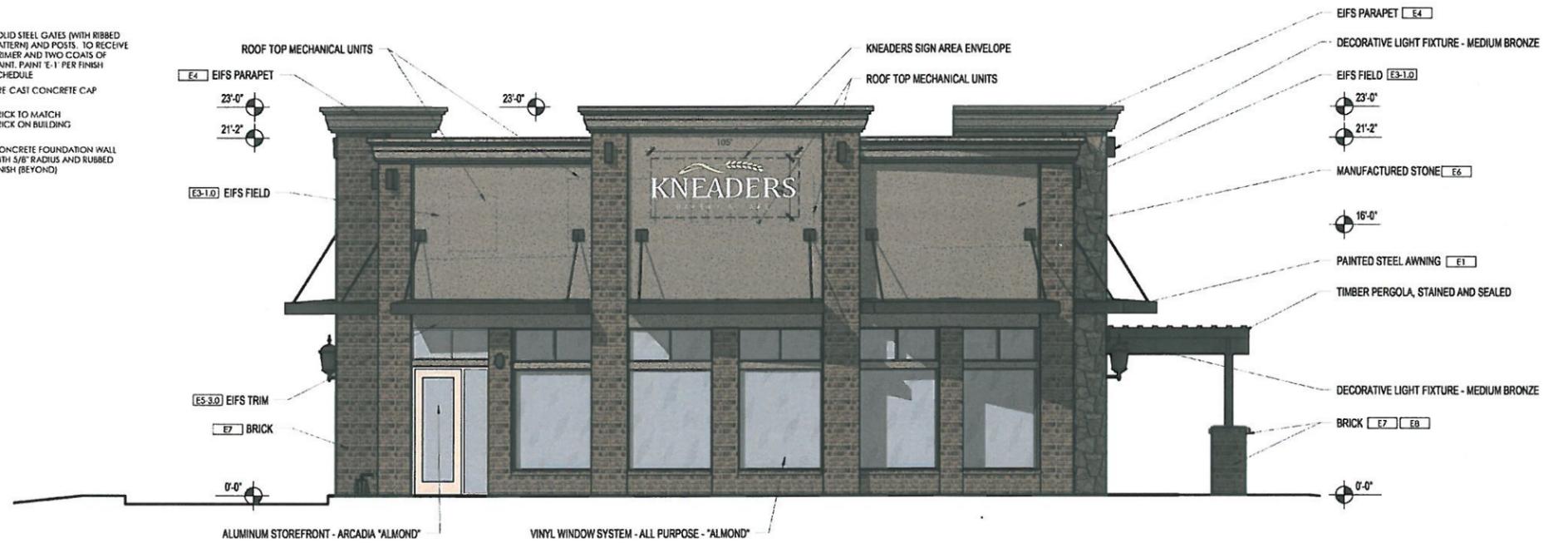
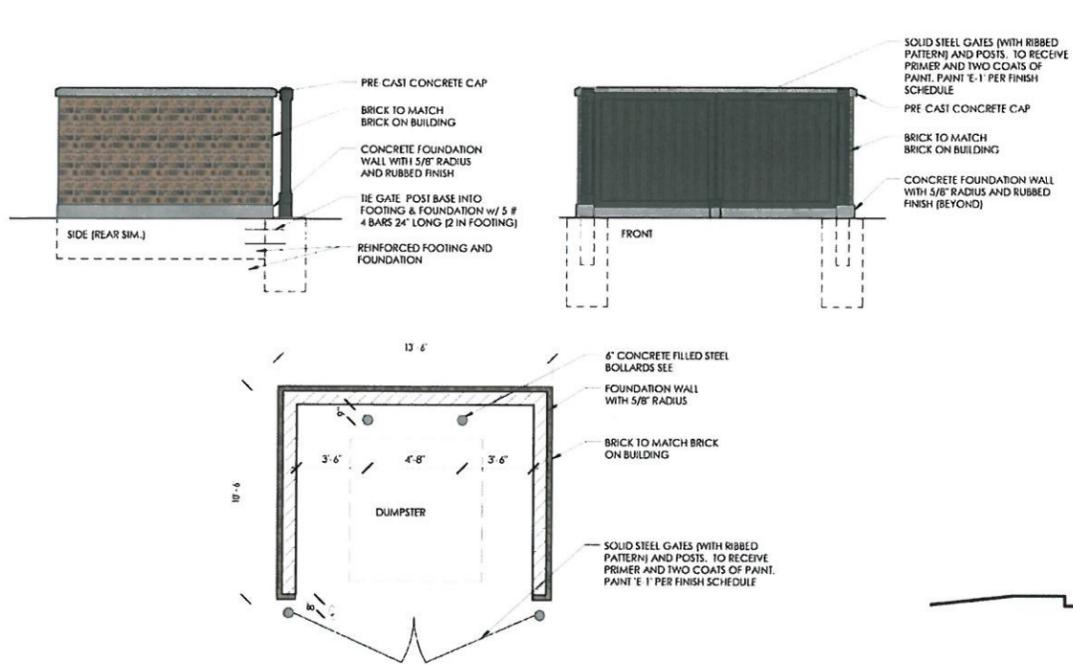


LEFT EXTERIOR ELEVATION

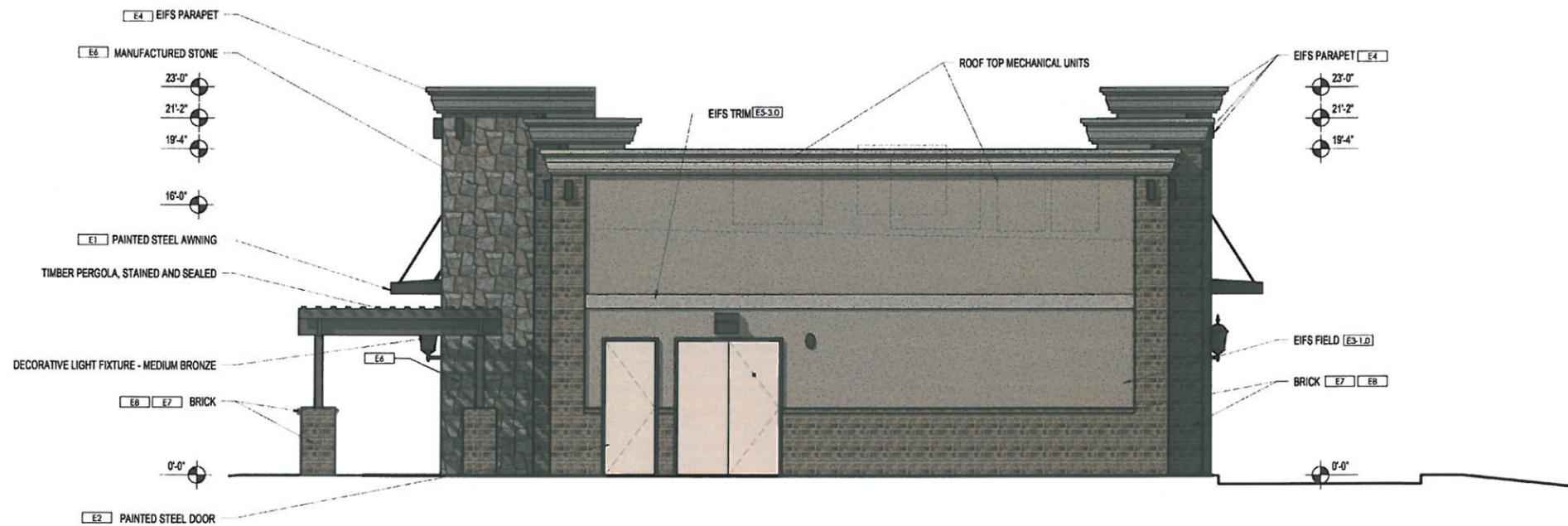


RIGHT EXTERIOR ELEVATION

FINISH LEGEND		
E1	PAINT	FINISH TAG (SEE FINISHES FIRST COLUMN IN FINISH LEGEND)
EXTERIOR FINISH SCHEDULE		
MARK	MATERIAL	DESCRIPTION
E1	PAINT	PAINT COLOR: SW641 (OTTER)
E2	PAINT	PAINT TO MATCH DRYVIT CHOCOLATE MOUSSE 300.
E3-1.0	EIFS FIELD	EIFS WITH LIGHT DASH TEXTURE (FIELD). ALSO CD: 75% SAVANNAH WICKER.
E4	EIFS (PARAPET)	EIFS PARAPET FEATURE. ALSO CD: 75% SAVANNAH WICKER.
E5-3.0	EIFS TRIM BAND (ACCENT)	EIFS TRIM BAND (ACCENT). ALSO CD: 75% SAVANNAH WICKER.
E5-2.5	EIFS TRIM BAND (ACCENT)	EIFS TRIM BAND (ACCENT). ALSO CD: 75% SAVANNAH WICKER.
E5-2.0	EIFS TRIM BAND (ACCENT)	EIFS TRIM BAND (ACCENT). ALSO CD: 75% SAVANNAH WICKER.
E6	MANUF. STONE	SUNSET STONE: 45% BUFF MESS, 35% COUNTRY FIELDSTONE, 20% NATURAL FIELDSTONE.
E7	BRICK - FIELD BURNING	CHEROKEE BRICK AND TILE CO. NAME: MCCS/TOWN, SIZE: QUEEN, ITEM: 31-17-886, RUN NUMBER: 3'-075-13.
E8	BRICK - CAP	ROWLOCK BRICK SLOPED TO DRAINAGE BRICK. FIELD SPECIFIED ABOVE.
E9	BRICK - ACCENT	HEADER BRICK AT SOES OF OPENING & ROWLOCK ARCH AT TOP OF OPENING. USE FINISH - FIELD SPECIFIED ABOVE.
E10	KEYSTONE	SUNSET STONE, KEYSTONE - LARGE - 12.5
E11	ELEC. STONES	SUNSET STONE LIGHT PLAQUE - MATCH COLOR TO ADJACENT STONE.



FRONT EXTERIOR ELEVATION



BACK EXTERIOR ELEVATION

FINISH LEGEND		
[E1] FINISH TAG (REFERENCES FIRST COLUMN IN FINISH LEGEND)		
EXTERIOR FINISH SCHEDULE		
MARK	MATERIAL	DESCRIPTION
E1	PAINT	PAINT COLOR: SW6041 (OTHER)
E2	PAINT	PAINT TO MATCH DEWITT CHOCOLATE MOUSSE 360.
E3-1.0	1" THICK EIFS (FIELD)	EIFS WITH LIGHT DASH TEXTURE (FIBER); ALSO: 1528 SAVANNAH WICKER.
E4	EIFS (PARAPET)	EIFS PARAPET FEATURE; ALSO: 738 SAVANNAH WICKER.
E3-3.0	1" THICK EIFS (ACCENT)	EIFS TRIM BAND (ACCENT); ALSO: 738 SAVANNAH WICKER.
FS-2.5	1 1/2" THICK EIFS (ACCENT)	EIFS TRIM BAND (ACCENT); ALSO: 738 SAVANNAH WICKER.
E3-2.0	1" THICK EIFS (ACCENT)	EIFS TRIM BAND (ACCENT); ALSO: 738 SAVANNAH WICKER.
E6	MANUF. STONE	SUNSET STONE; 438 BUFF MOUL 33% COUNTRY FIELDSTONE; 708 NATURAL FIELDSTONE
E7	BRICK - FIELD RUNNING BOND	CHER-OXEE BRICK AND TILE CO. NAME: MCUSTOWN, SIZE: QUEEN, FPA: 21-17-088, RUN NUMBER: 51-075-13
E8	BRICK - CAP ROWLOCK	ROWLOCK BRICK SLOPED TO DRAIN; USE BRICK - FIELD SPECIFIED ABOVE
E9	BRICK ACCENT	HEADER BRICK AT SIDES OF OPENING & ROWLOCK ARCH AT TOP OF OPENING; USE BRICK - FIELD SPECIFIED ABOVE
E10	KEYSTONE	SUNSET STONE, KEYSTONE LARGE 13.5
E11	ELEC. STONES	SUNSET STONE LIGHT PLAQUE - MATCH COLOR TO ADJACENT STONE

ATTACHMENT 3

Landscape Plan

landscape requirements

Site Area: 50,741 sq. ft.
Green Space: 23,356 sq. ft.
Coverage Ratio: 46%

Parking Lot Landscaping
1 shade tree & 3 shrubs per island: 4 trees and 12 shrubs required, 5 trees and 15 shrubs provided
1 island per 10 parking spaces: 41 / 10 = 4 islands required, 5 provided
8' wide, 128 sq. ft. per island minimum: requirement met

Street Frontage @ North
6' landscape strip provided
224 l.f. / 40' = 5.6 required trees, 6 trees provided

Street Frontage @ South
6' landscape strip provided
261 l.f. / 40' = 6.5 required trees, 7 trees provided

Street Frontage @ East
6' landscape strip provided
164 l.f. / 40' = 4.1 required trees, 4 trees provided

Street Frontage @ West
6' landscape strip provided
246 l.f. / 40' = 6.2 required trees, 6 trees provided

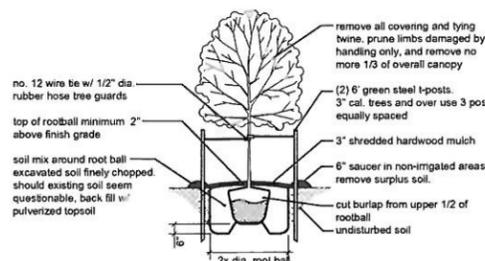
27 total trees required, 38 provided
12 total shrubs required, 62 provided

Landscaping Notes

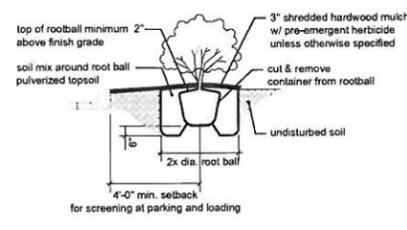
- Landscaping shall be coordinated with the location of utilities, driveways and traffic clearance zones.
- The contractor doing excavation on public right-of-way shall give 48 hours advance notice to and obtain information from utility companies.
- Prior to commencement of work, the contractor shall notify all those companies which have facilities in the near vicinity of the construction to be performed.
- Existing underground, overhead, utilities and drainage structures have been plotted from available information and therefore, their locations must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies to locate their utilities before actual construction. Contractor shall verify location of and protect all utilities and structures. Damage to utilities and structures shall be repaired by the contractor to the satisfaction of the owner at no additional expense.
- Entire site to be irrigated by underground system, including right of way as req'd. (limits of sod including all other disturbed areas and all planting beds)
- Irrigation system shall include an automatic rain sensor.
- All landscape materials shall be installed in accordance with the current planting procedures established by the most recent addition of the American Standard for Nursery Stock.
- Trees planted per this plan shall be installed during the spring (march 15 through June 15) or fall (september 15 through december 1). Written city approval will be required for planting during other times of the year.
- Stake and guy all trees per planting details.
- Install all shrubs and groundcover per planting details.
- Elevation of top of mulch shall be 1/2" below any adjacent pavement/turf areas.
- Root stimulator shall be applied to the soil backfill of each plant during installation.
- Contractor shall verify all landscape material quantities and shall report any discrepancies immediately to the Landscape Architect.
- Contractor shall stake plant locations in the field and have approval by the Landscape Architect before proceeding with installation.
- Contractor shall guarantee all plant material for a period of one (1) year from date of initial acceptance. Contractor is responsible for maintaining plant material until acceptance is received. Maintenance shall include watering, maintaining plants in vertical position and shrub bed weed control.
- All plant material shall meet or exceed minimum requirements defined by the "American Standard for Nursery Stock" ANSI Z60.1.
- No plant material shall be substituted without written approval of the Landscape Architect per specifications.
- Trees and seasonal color areas shall be mulched with three (3) inches minimum shredded hardwood mulch. Planting beds as delineated shall be separated from pavement/turf areas with metal edging and mulched with three (3) inches minimum shredded hardwood mulch over weed barrier fabric, except where otherwise specified.
- All existing plant material to be retained shall be wrapped with orange, or bright, colored plastic snow fence around base of trees and around all shrubs. Stake to hold in place during construction.
- All shrubs used as parking buffer to be min. 18" tall at planting and maintained 3'-0" max. height. Install plants not to encroach upon cars parked, when at full growth.
- All trees with above a 2" caliper shall be double staked, while smaller trees shall be single staked.
- Ground mechanical and electrical equipment shall be wholly screened from street right-of-way and residential developments.
- Maximum slope shall be not greater than 3 : 1.
- All portions of site not covered by paving, mulch, plantings, etc. are to be sodded. Sod shall extend to all disturbed areas and shall include portions of right of way if necessary.



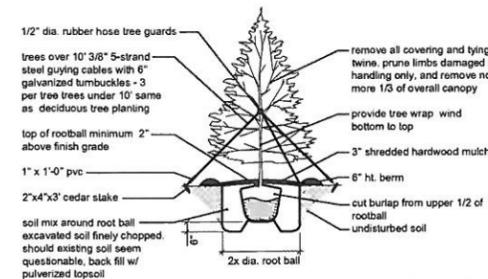
Tree and Shrub Planting List					
	ITEM	QTY.	COMMON NAME	BOTANICAL NAME	SIZE & CONDITION
SHRUB	A	28	Shade Tree	-	2-1/2" caliper
	B	4	Evergreen Tree	-	6'-8" tall
	C	6	Ornamental Tree	-	1-1/2" caliper
SHRUB	D	62	Shrub	-	3 - 5 gallon



4 Deciduous Tree Planting Detail
not to scale



3 Shrub Planting Detail
not to scale



2 Evergreen Tree Planting Detail
not to scale

1 Landscape Plan
scale: 1" = 20'-0"

a pad site development for
Kneaders Bakery
Lot 4
Belton, Missouri

date
09.09.16
drawn by
dAE
checked by
dAE
revisions

sheet number

L1.1

drawing type
planning
project number
16185

**Consideration of a Final Development Plan for
a Multi-Tenant Retail Shopping Center in Lot 1,
Belton Gateway Addition Unit No. 2 at 531,
535, 539, 541, and 545 East Markey Parkway.**



FINAL DEVELOPMENT PLAN
BLOCK 1, BELTON GATEWAY ADDITION UNIT NO. 2

PLANNING COMMISSION
MONDAY, NOVEMBER 7, 2016 –6:00 P.M.
CITY HALL ANNEX, 520 MAIN STREET

Assigned staff: Jay C. Leipzig, Director and Zach Matteo- City Engineer

CASE #FDP16-0072

Consideration of Final Development Plan approval for a 76,505-sq. ft. commercial building – a multi-tenant retail building on Block 1 of the Belton Gateway Addition Unit, a 9.68 -acre tract of land, addressed as 531, 535, 539, 541, and 545 E. Markey Parkway.

PROPOSED PROJECT DEVELOPMENT

Current Zoning: C-2 (General Commercial) District.

Property Description: Belton Gateway Unit No. 2, Block 1

Size of Site: 421,883 -sq. ft. / 9.68-acre(s)

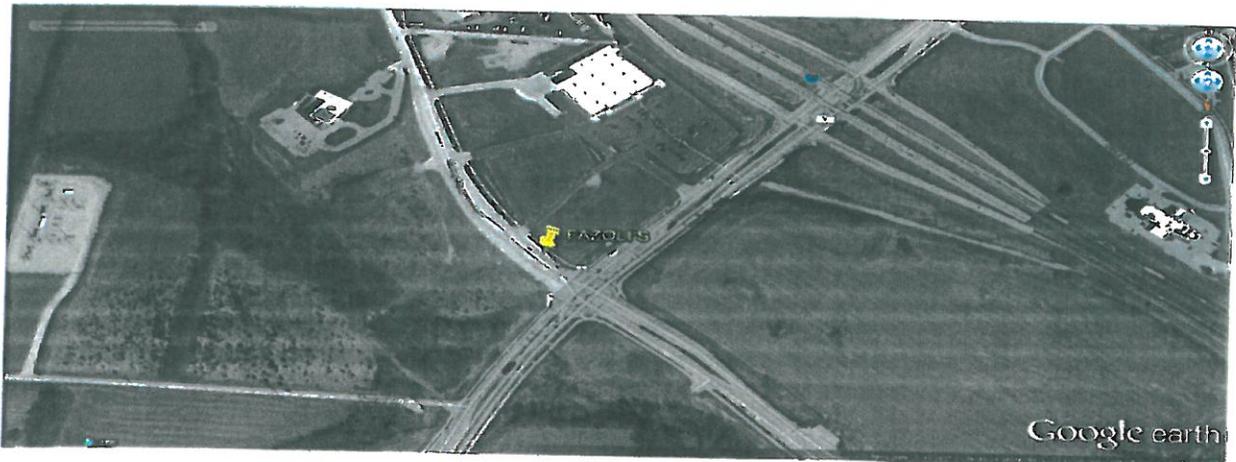
SURROUNDING ZONING / USE

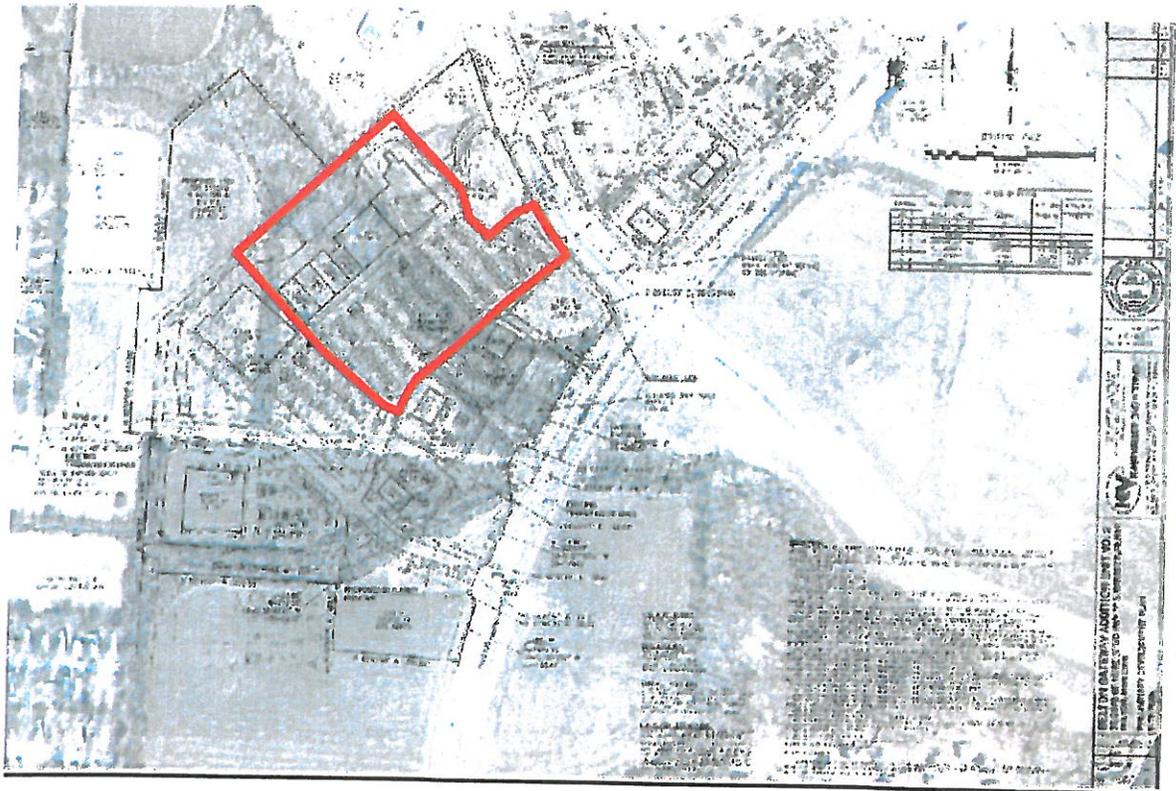
West: C-2 /General Commercial

East: C-2 /General Commercial

North: C-2 /General Commercial

South: C-2 /General Commercial





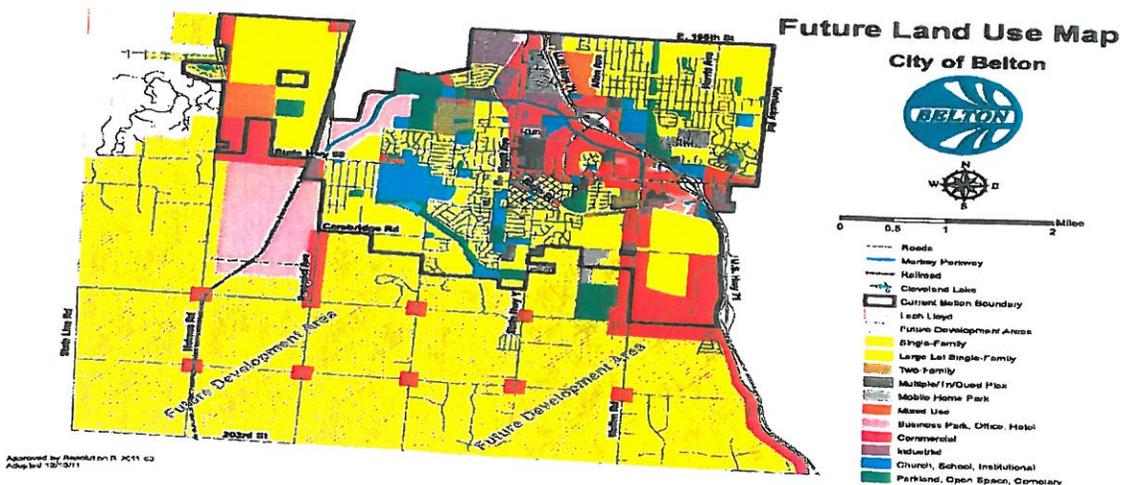
REVIEW

The developer has submitted the proposed site plans for this project, and has identified the following key elements.

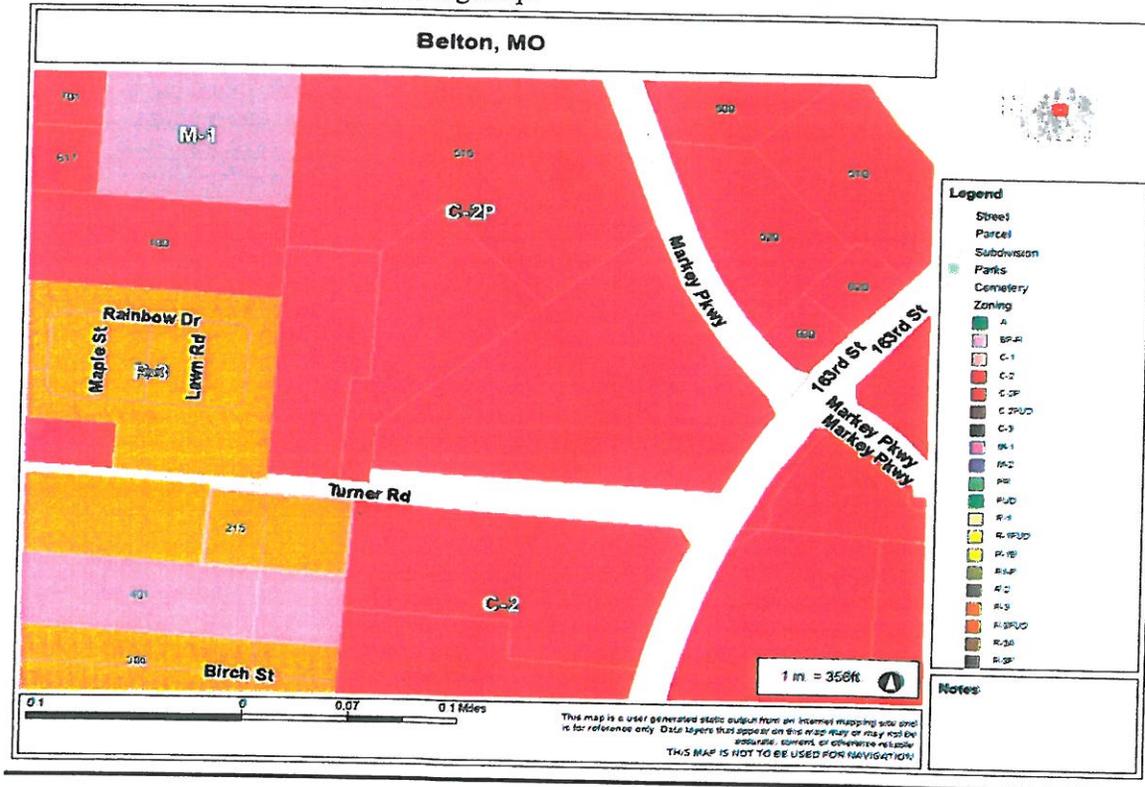
Site Dimensions: 421,883-sq. ft. or 9.68-acre(s).

Intended Use: Retail / Commercial Space with five-(5) commercial/retail development spaces, ranging from 23,229 sq. ft. to 8,498 sq. ft.

Future Land Use Map: The subject site is located within the city’s primary commercial/retail corridor and is consistent with the Future Land Use Map.



Official Zoning Map: The proposed site is zoned C-2P - General Commercial and is in conformance with the Official Zoning Map.



Height & Dimension of Building: The proposed building will not exceed 75 feet and will not exceed a building coverage percentage of 40%.

Conceptual Elevation: The general appearance of the building will be a stucco, brick and cast-stone mix, and meets the façade articulation requirements in the C-2 Zoning District in accordance with Chapter 28-1 of the Unified Development Code, and Chapter 28-4 of the Unified Development Code concerning mechanical equipment screening requirements.

Consistency with the Belton Gateway Phase Two Plat: The proposed final site plan is consistent with the Gateway Phase Two Final Plat approved by the Planning Commission on November 16, 2015 and the Belton City Council on April 26, 2016. The plat has been recorded in accordance with requirements as specified by the Cass County Recorder's office.

Consistency with the Preliminary Development Plan: The proposed final site plan is consistent with the Preliminary Development Plan that was approved by the Planning Commission on November 16, 2015.

Signage: Pursuant to City code, wall mounted signs are an acceptable form of signage in a C-2 (General Commercial) zoning district. The Belton Gateway site does have an existing monument sign located on the southeast corner of the site, and all signage will be consistent with the master signage plan submitted by the developer.

Landscaping: Pursuant to the Landscape Ordinance, the site will be irrigated and landscaped with multiple native plantings, shrubs and sod.

FINAL DEVELOPMENT PLAN

STAFF'S REVIEW COMMENTS

Planning:

All staff comments have been addressed and the project meets all requirements for a Final Development Plan submission in accordance with Chapter 20-6 of the Unified Development Code.

Upon completion of the project, the developer shall provide a landscape escrow in the form of cash or irrevocable letter of credit in the amount of 25 percent (25%) of estimated cost in accordance with Chapter 22-18 of the Unified Development Code.

Engineering:

Complete and submit to City Engineer a Markey Regional Detention application for this development. City staff will calculate fee based on City Code. Agreement between owner/developer and City is required as well;

Provide backflow vaults and preventers for private fire lines if length of dead-end line exceeds 100 feet. Backflow preventer can be inside building if length of dead-end line is less than 100 feet;

Clarify signage such as stop signs for internal traffic movements;

Building Inspections:

The Building Division has no comments on the site plan. However, the proposed elevations meet the required articulation requirements.

All construction must meet 2012 International Code.

Fire Department:

All staff comments have been addressed with the Belton Fire Department.

PROPOSED PLANNING COMMISSION ACTION

1. Motion to approve the Final Development Plan for Block 1, Belton Gateway Unit No. 2 as submitted.

ATTACHMENTS

1. Final Site Development Plan
2. Building Elevation(s)
3. Landscape Plan
4. Preliminary Development Plan
5. Final Plat

ATTACHMENT 1

Final Site Development Plan

SAFETY NOTICE TO CONTRACTOR
 IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

WARRANTY / DISCLAIMER
 THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER KAW VALLEY ENGINEERING, INC NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE KAW VALLEY ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

CAUTION - NOTICE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.

ZONING REQUIREMENTS (C-2P ZONE):

MINIMUM LOT AREA: 10,000 SF PER LOT

MINIMUM LOT WIDTH: 100'

MINIMUM LOT DEPTH: 100'

MINIMUM YARD

FRONT=30'

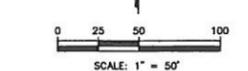
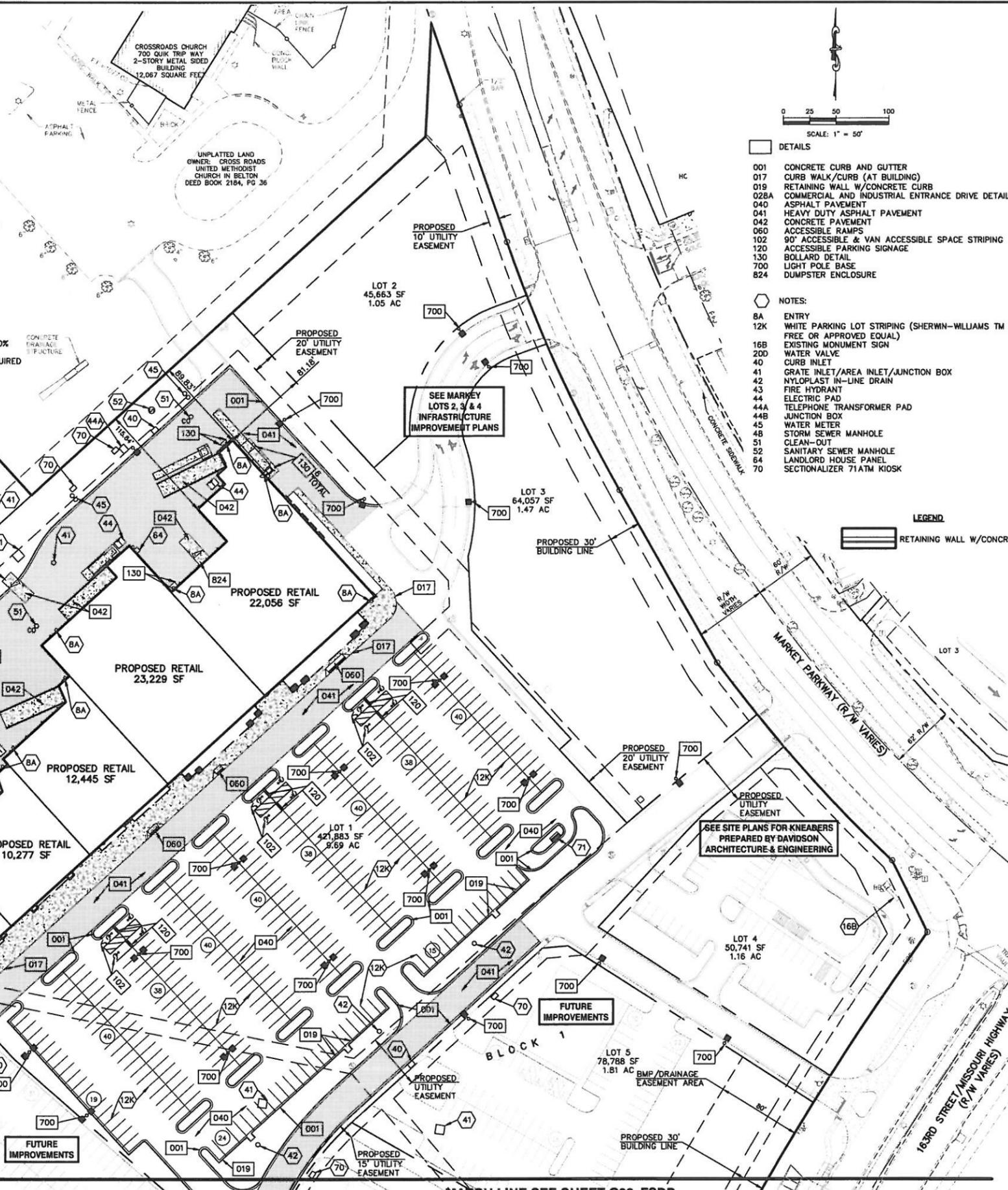
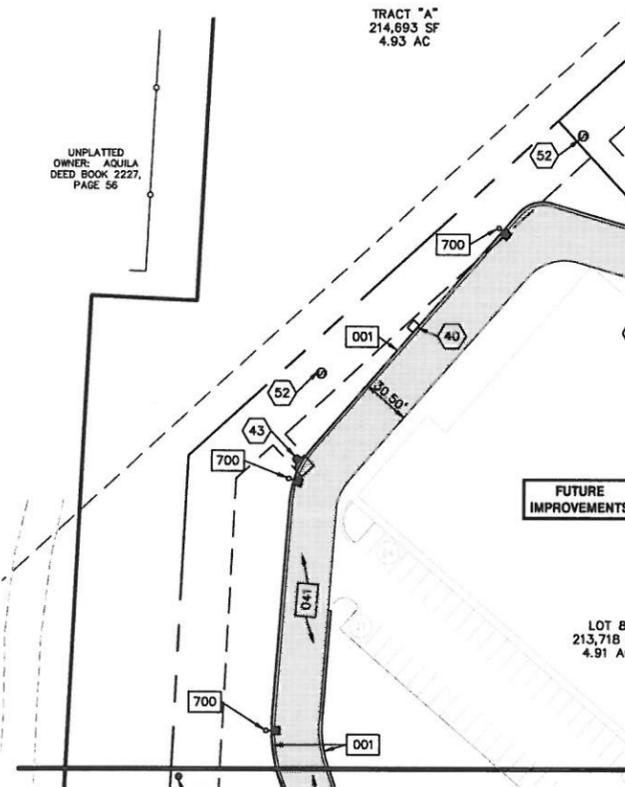
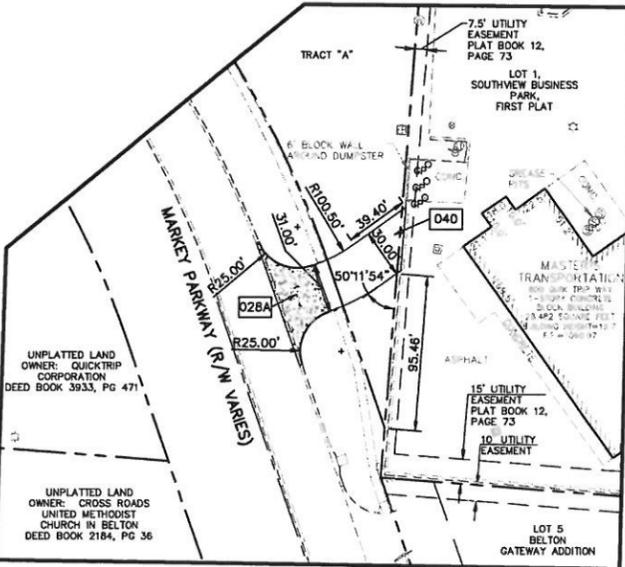
REAR=20'

SIDE=10'

MAX BUILDING HEIGHT: 75'

MAXIMUM BUILDING COVERAGE % OF LOT: 40%

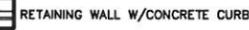
UNENCLOSED PARKING SETBACK: NONE REQUIRED



- DETAILS**
- 001 CONCRETE CURB AND GUTTER
 - 017 CURB WALK/CURB (AT BUILDING)
 - 019 RETAINING WALL W/CONCRETE CURB
 - 028A COMMERCIAL AND INDUSTRIAL ENTRANCE DRIVE DETAIL
 - 040 ASPHALT PAVEMENT
 - 041 HEAVY DUTY ASPHALT PAVEMENT
 - 042 CONCRETE PAVEMENT
 - 060 ACCESSIBLE RAMPS
 - 102 90° ACCESSIBLE & VAN ACCESSIBLE SPACE STRIPING
 - 120 ACCESSIBLE PARKING SIGNAGE
 - 130 BOLLARD DETAIL
 - 700 LIGHT POLE BASE
 - 824 DUMPSTER ENCLOSURE

- NOTES:**
- 8A ENTRY
 - 12K WHITE PARKING LOT STRIPING (SHERWIN-WILLIAMS TM 2160 LEAD FREE OR APPROVED EQUAL)
 - 16B EXISTING MONUMENT SIGN
 - 200 WATER VALVE
 - 40 CURB INLET
 - 41 GRATE INLET/AREA INLET/JUNCTION BOX
 - 42 NYLOPLAST IN-LINE DRAIN
 - 43 FIRE HYDRANT
 - 44 ELECTRIC PAD
 - 44A TELEPHONE TRANSFORMER PAD
 - 44B JUNCTION BOX
 - 45 WATER METER
 - 48 STORM SEWER MANHOLE
 - 51 CLEAN-OUT
 - 52 SANITARY SEWER MANHOLE
 - 64 LANDLORD HOUSE PANEL
 - 70 SECTIONALIZER 71ATM KIOSK

LEGEND



REV	DATE	DESCRIPTION
0	10-14-16	REVISED PER CONSTRUCTION PLANS
1	9-12-16	INITIAL ISSUE
1		DSN DWN CHK



SAMUEL D. MALINOWSKY
 ENGINEER
 MO # 2013035729

2319 N. JACKSON | P.O. BOX 1304
 BELTON, MISSOURI 64008
 PH. (781) 782-5040 | FAX (781) 782-7744
 kaveeng.com | www.kaveeng.com

KAW VALLEY ENGINEERING
 KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842.
 EXPIRES 12/31/17

BELTON GATEWAY ADDITION UNIT NO. 2 - BLOCK 1
MISSOURI HIGHWAY "Y" & MARKEY PARKWAY
BELTON, MISSOURI
FINAL SITE DEVELOPMENT PLANS - PHASE 2
SITE PLAN

PROJ. NO.	A13-6441-3
DESIGNER	DRAWN BY
CFN	8441-330P SP
SHEET	REV
C02_FSDP	1

MATCH LINE SEE SHEET C03_FSDP

THIS DRAWING SHALL NOT BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION IN WHOLE OR IN PART WITHOUT THE SPECIFIC PERMISSION OF KAW VALLEY ENGINEERING, INC.

ATTACHMENT 2
Building Elevation(s)

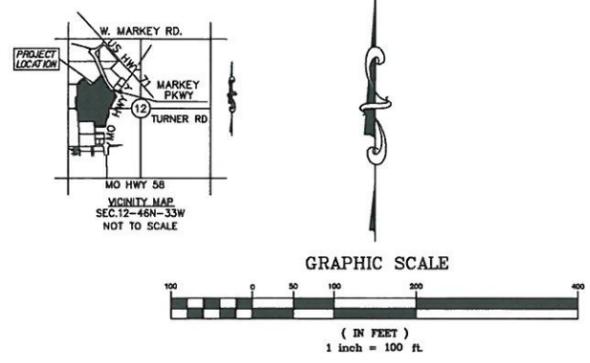
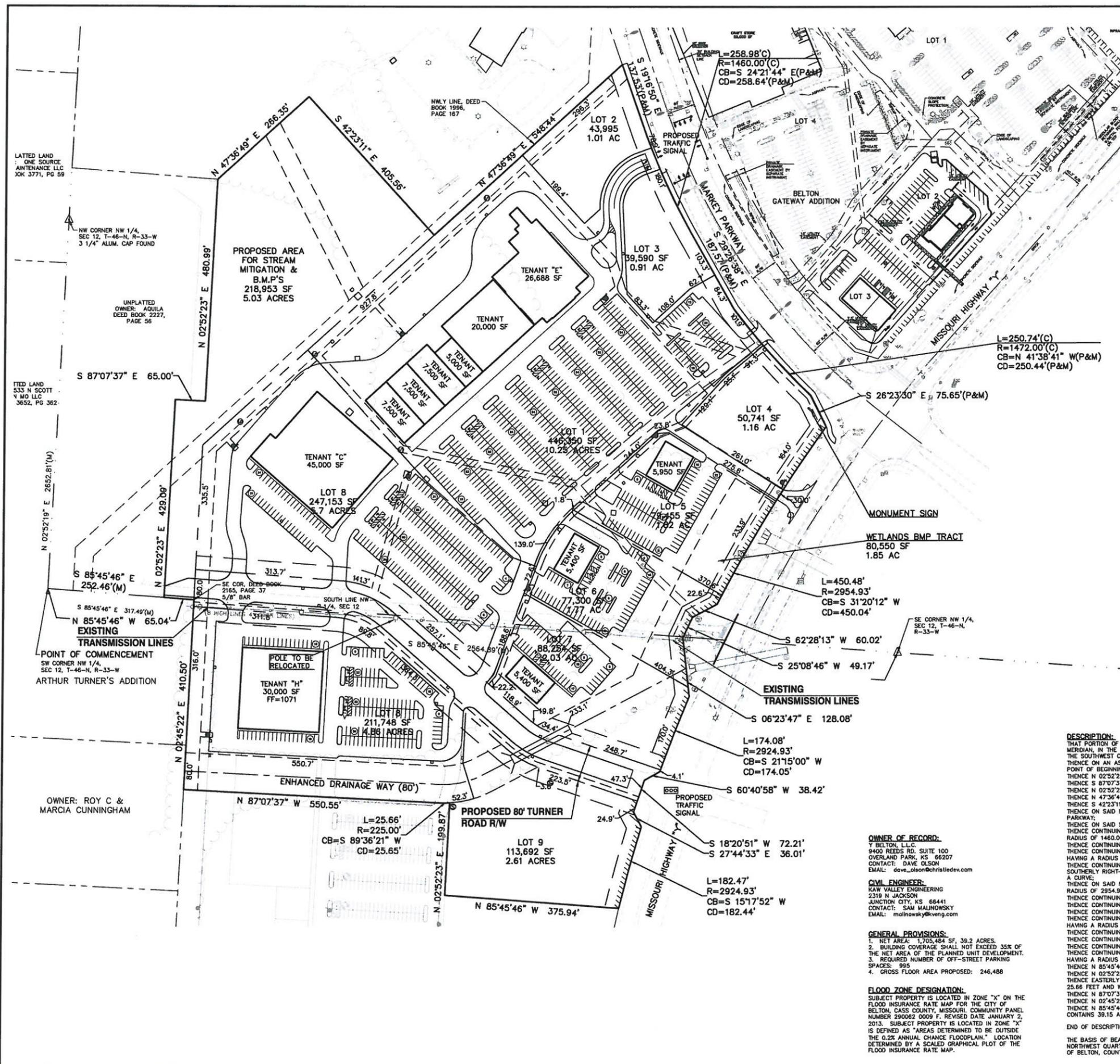


ATTACHMENT 3

Landscape Plan

ATTACHMENT 4

Preliminary Development Plan – Approved by the
Planning Commission on November 15, 2015



PROPOSED LAND USE BY PARCEL				
PARCEL	PROP. LAND USE	SQ. FT.	REQUIRED	PROVIDED
LOT 1	MIXED RETAIL	119,188	716(6.0)	730(6.1)
LOT 2	RESTAURANT/RETAIL	TBD	-	-
LOT 3	RESTAURANT/RETAIL	TBD	-	-
LOT 4	RESTAURANT	TBD	-	-
LOT 5	RESTAURANT/RETAIL	5,950	30(5.0)	82(13.8)
LOT 6	RESTAURANT	5,400	27(5.0)	70(13.0)
LOT 7	RESTAURANT	5,400	27(5.0)	53(9.8)
LOT 8	RETAIL	30,000	150(5.0)	163(5.4)
LOT 9	RESTAURANT	TBD	-	-

LATTED LAND ONE SOURCE MAINTENANCE, LLC JOK 3771, PG 59

NW CORNER NW 1/4, SEC 12, T-46-N, R-33-W 3 1/4" ALUM. CAP FOUND

UNPLATTED OWNER: AQUILA DEED BOOK 2227, PAGE 56

TITED LAND 533 N SCOTT V MO LLC 3652, PG 362

EXISTING TRANSMISSION LINES
POINT OF COMMENCEMENT
SW CORNER NW 1/4, SEC 12, T-46-N, R-33-W
ARTHUR TURNER'S ADDITION

OWNER: ROY C & MARCIA CUNNINGHAM

OWNER OF RECORD:
Y BELTON, L.L.C.
9460 REDDS RD. SUITE 100
OVERLAND PARK, KS 66207
CONTACT: DAVE OLSON
EMAIL: dave_olson@christiedev.com

CIVIL ENGINEER:
KAW VALLEY ENGINEERING
2319 N JACKSON
JUNCTION CITY, KS 66441
CONTACT: SAM MALINOWSKY
EMAIL: malinowsky@kveeng.com

GENERAL PROVISIONS:
1. NET AREA: 1,705,484 SF, 38.2 ACRES.
2. BUILDING COVERAGE SHALL NOT EXCEED 35% OF THE NET AREA OF THE PLANNED UNIT DEVELOPMENT.
3. REQUIRED NUMBER OF OFF-STREET PARKING SPACES: 695
4. GROSS FLOOR AREA PROPOSED: 246,488

FLOOD ZONE DESIGNATION:
SUBJECT PROPERTY IS LOCATED IN ZONE "X" ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF BELTON, CASS COUNTY, MISSOURI, COMMUNITY PANEL NUMBER 290062 0009 F. REVISED DATE JANUARY 2, 2013. SUBJECT PROPERTY IS LOCATED IN ZONE "X" IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN." LOCATION DETERMINED BY A SCALED GRAPHICAL PLOT OF THE FLOOD INSURANCE RATE MAP.

DESCRIPTION:
THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 46 NORTH, RANGE 33 WEST OF THE 5TH PRINCIPAL MERIDIAN, IN THE CITY OF BELTON, COUNTY OF CASS, STATE OF MISSOURI, BEING DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER; THENCE ON AN ASSUMED BEARING ON THE SOUTH LINE OF SAID NORTHWEST QUARTER, S 85°45'46" E, 252.46 FEET TO THE POINT OF BEGINNING;
THENCE N 02°52'23" E 429.09 FEET;
THENCE N 02°52'23" E 480.99 FEET;
THENCE N 02°52'23" E 480.99 FEET;
THENCE N 47°36'49" E 266.35 FEET;
THENCE S 42°23'11" E 405.56 FEET TO THE NORTHWESTERLY LINE OF DEED BOOK 1996, PAGE 167;
THENCE ON SAID NORTHWESTERLY LINE, N 47°36'49" E 548.44 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF MARKEY PARKWAY;
THENCE ON SAID SOUTHERLY RIGHT-OF-WAY LINE, S 19°16'50" E 137.53 FEET TO THE BEGINNING OF A CURVE;
THENCE CONTINUING ON SAID SOUTHERLY RIGHT-OF-WAY LINE SAID CURVE TO THE LEFT HAVING A RADIUS OF 1460.00 FEET, AN ARC LENGTH OF 258.98 FEET AND WHOSE CHORD BEARS S 24°21'44" E 258.64 FEET;
THENCE CONTINUING ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, S 29°26'38" E A DISTANCE OF 187.57 FEET;
THENCE CONTINUING ON SAID SOUTHERLY RIGHT-OF-WAY LINE SOUTHEASTERLY ON A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 1472.00 FEET, AN ARC LENGTH OF 250.74 FEET AND WHOSE CHORD BEARS S 41°38'41" E 250.44 FEET;
THENCE CONTINUING ON SAID SOUTHERLY RIGHT-OF-WAY LINE, S 26°23'30" E 75.65 FEET TO THE INTERSECTION OF SAID SOUTHERLY RIGHT-OF-WAY LINE WITH THE NORTHERLY RIGHT-OF-WAY LINE OF MISSOURI HIGHWAY Y AND THE BEGINNING OF A CURVE;
THENCE ON SAID NORTHERLY RIGHT-OF-WAY LINE SOUTHWESTERLY ON A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 2954.93 FEET, AN ARC LENGTH OF 450.48 FEET AND WHOSE CHORD BEARS S 31°20'12" W 450.04 FEET;
THENCE CONTINUING ON SAID NORTHERLY RIGHT-OF-WAY LINE, S 62°28'13" W 60.02 FEET;
THENCE CONTINUING ON SAID NORTHERLY RIGHT-OF-WAY LINE, S 25°08'46" W 49.17 FEET;
THENCE CONTINUING ON SAID NORTHERLY RIGHT-OF-WAY LINE, S 06°23'47" E 128.08 FEET TO THE BEGINNING OF A CURVE;
THENCE CONTINUING ON SAID NORTHERLY RIGHT-OF-WAY LINE SOUTHWESTERLY ON A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 2924.93 FEET, AN ARC LENGTH OF 174.08 FEET AND WHOSE CHORD BEARS S 21°15'00" W 174.05 FEET;
THENCE CONTINUING ON SAID NORTHERLY RIGHT-OF-WAY LINE, S 60°40'58" W 38.42 FEET;
THENCE CONTINUING ON SAID NORTHERLY RIGHT-OF-WAY LINE, S 18°20'51" W 72.21 FEET;
THENCE CONTINUING ON SAID NORTHERLY RIGHT-OF-WAY LINE, S 27°44'33" E 36.01 FEET TO THE BEGINNING OF A CURVE;
THENCE CONTINUING ON SAID NORTHERLY RIGHT-OF-WAY LINE SOUTHWESTERLY ON A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 2924.93 FEET, AN ARC LENGTH OF 182.47 FEET AND WHOSE CHORD BEARS S 15°17'52" W 182.44 FEET;
THENCE N 85°45'46" W 375.94 FEET;
THENCE N 02°52'23" E 199.87 FEET TO THE BEGINNING OF A CURVE;
THENCE EASTERLY ON A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 225.00 FEET, AN ARC LENGTH OF 25.66 FEET AND WHOSE CHORD BEARS S 89°36'21" W 25.65 FEET;
THENCE N 87°07'37" W 550.55 FEET;
THENCE N 02°45'22" E 410.50 FEET;
THENCE N 85°45'46" W 65.04 FEET TO THE POINT OF BEGINNING.

END OF DESCRIPTION

THE BASIS OF BEARINGS FOR THIS DESCRIPTION IS AN ASSUMED BEARING OF N 02°52'19" E ON THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 46 NORTH, RANGE 33 WEST OF THE 5TH PRINCIPAL MERIDIAN, IN THE CITY OF BELTON, COUNTY OF CASS, STATE OF MISSOURI.

SDM	CHK
JT	DWN
SDM	DSN
INITIAL	ISSUE
REV	DATE
0	8-28-15
0	8-28-15

STATE OF MISSOURI
SAMUEL D. MALINOWSKY
REGISTERED PROFESSIONAL ENGINEER
NUMBER PE-0113035729

SAMUEL D. MALINOWSKY
ENGINEER
MO # 2013035729

2319 N. JACKSON | P.O. BOX 1304
JUNCTION CITY, MO 66441
PH: (785) 762-5040 | FAX: (785) 762-7744
KAW VALLEY ENGINEERING
KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842. EXPIRES 12/31/15

BELTON GATEWAY ADDITION UNIT NO. 2
SE QUAD OF 163RD ST/MO HWY "Y" & MARKEY PARKWAY
BELTON, MISSOURI

PRELIMINARY DEVELOPMENT PLAN
SITE PLAN

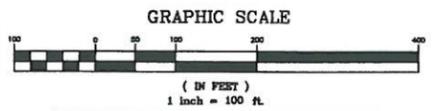
PROJ. NO. A13 6441-3
DESIGNER SDM
DRAWN BY JT
CFN 6441-2PSPD-SP
SHEET 01_PSPD
REV 0

ATTACHMENT 5

Final Plat – Approved by City Council on April 26, 2016

FINAL PLAT
BELTON GATEWAY ADDITION UNIT NO. 2
 A SUBDIVISION IN THE CITY OF BELTON, CASS COUNTY, MISSOURI
 SECTION 12, TOWNSHIP 46
 RANGE 33

Recorded in Cass County, Missouri
 Recording Date/Time: 10/13/2016 at 04:02:26 PM
 Book: 22 Page: 77
 Plat #: 093248
 Type: PLAT
 Pages: 2
 Fee: \$115.00 + \$20.00/PLAT



LINE TABLE		
LINE	BEARING	LENGTH
L1	N 42°23'11" W	56.09'
L2	N 42°23'11" W	60.00'
L3	N 70°18'21" E	31.49'
L4	S 70°18'21" W	33.83'
L5	N 2°50'22" W	70.06'
L6	N 47°36'49" E	70.03'
L7	S 50°03'56" W	91.33'
L8	S 42°41'31" W	129.14'
L9	S 49°14'08" W	339.40'
L10	S 78°40'48" E	395.52'
L11	N 40°07'01" W	36.22'
L12	N 40°07'01" W	102.48'
L13	N 40°07'01" W	93.24'
L14	S 46°41'40" E	179.54'
L15	S 61°56'13" W	44.81'
L16	N 69°43'29" W	52.77'
L17	N 41°06'53" E	7.25'
L18	N 3°00'03" E	112.40'
L19	S 85°45'46" E	65.03'
L20	N 87°14'38" W	55.57'
L21	S 17°40'22" E	108.01'
L22	S 62°13'27" W	95.46'

COORDINATE TABLE			
POINT #	NORTHING	EASTING	DESCRIPTION
1	966826.33	2780764.38	BOU
2	967254.87	2780785.88	BOU
3	967251.61	2780850.80	BOU
4	967732.00	2780874.91	BOU
5	967911.56	2781071.64	BOU
6	967612.00	2781345.04	BOU
7	967952.00	2781717.56	BOU
8	968059.36	2781722.96	BOU
9	967851.90	2781795.54	BOU
10	967616.29	2781902.23	BOU
11	967452.94	2781994.43	BOU
12	967265.79	2782160.85	BOU
13	967198.03	2782194.48	BOU
14	966908.87	2782011.10	BOU
15	966693.89	2781891.63	BOU
16	966614.10	2781900.58	BOU
17	966451.88	2781837.49	BOU
18	966433.06	2781803.99	BOU
19	966364.52	2781781.26	BOU
20	966332.65	2781798.03	BOU
21	966156.88	2781749.90	BOU
22	966184.45	2781374.98	BOU
23	966384.07	2781385.00	BOU
24	966383.90	2781359.36	BOU
25	966411.49	2780809.50	BOU
26	966821.52	2780829.24	BOU

CURVE TABLE						
CURVE	CHORD BEARING	CHORD LENGTH	TANGENT	RADIUS	DELTA	
C1	N 33°44'00" E	146.58'	157.02'	91.26'	123.00'	73°08'43"
C2	N 20°20'14" W	53.85'	53.85'	26.93'	1460.00'	2°06'48"
C3	S 22°22'34" E	50.05'	50.06'	25.03'	1460.00'	1°57'52"
C4	S 26°24'04" E	155.00'	155.07'	77.61'	1460.00'	6°05'08"
C5	N 1°46'17" W	106.31'	107.83'	55.49'	185.00'	33°23'39"
C6	S 73°41'1" E	18.89'	19.01'	9.82'	50.00'	21°46'52"
C7	S 36°48'33" W	80.58'	85.31'	48.22'	73.31'	66°40'25"
C8	S 39°57'14" E	40.00'	40.00'	20.00'	1472.00'	1°33'25"
C9	S 46°22'44" W	25.08'	25.10'	12.57'	195.00'	7°22'25"
C10	S 33°56'43" W	139.43'	140.77'	71.75'	295.00'	27°20'24"
C11	S 60°16'08" E	49.54'	49.87'	25.27'	125.50'	22°46'02"
C12	N 60°16'08" W	87.00'	87.62'	44.39'	220.50'	22°46'02"
C13	S 67°19'26" E	433.00'	440.57'	228.22'	684.50'	36°52'39"
C14	N 67°19'26" W	372.91'	379.42'	196.54'	589.50'	36°52'39"
C15	S 79°40'36" W	52.21'	52.32'	26.28'	225.00'	13°19'27"
C16	N 67°37'10" E	42.31'	42.37'	21.25'	225.00'	10°47'25"

- LEGEND**
- 5/8"x24" REBAR W/KVE LS 214F CAP SET SEE NOTE 1, THIS SHEET
 - MONUMENT FOUND, ORIGIN UNKNOWN UNLESS OTHERWISE NOTED
 - △ SECTION CORNER FOUND
 - (D) DEEDED
 - (M) MEASURED
 - (C) CALCULATED
 - CB CHORD BEARING
 - CD CHORD DISTANCE
 - ||||| CONTROLLED ACCESS
 - ◇ BOUNDARY COORDINATE

NOTE:

- ALL LOT PINS ARE TO BE SET UPON COMPLETION OF CONSTRUCTION, ANTICIPATED COMPLETION AUGUST 2017. (LOT PINS NOT SHOWN FOR CLARITY)
- CITY OF BELTON WILL NOT BE RESPONSIBLE FOR ANY PARKING LOT REPAIR REQUIRED AS A RESULT OF PUBLIC UTILITY MAINTENANCE
- ALL STREAM MITIGATION AND BMP AREAS ARE TO BE MAINTAINED PRIVATELY AND IN PERPETUITY.
- THIS FINAL PLAT IS ONE COMPONENT OF THREE DOCUMENTS RECORDED FOR BELTON GATEWAY UNIT NO. 2. DEVELOPMENT PLAN SHEETS AND REDEVELOPMENT AGREEMENT ARE RECORDED CONTEMPORANEOUSLY WITH THIS FINAL PLAT.

FLOOD STATEMENT:
 SUBJECT PROPERTY IS LOCATED IN "OTHER AREAS ZONE X" ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF BELTON, CASS COUNTY, MISSOURI, MAP NUMBER 29037C 0009 F, REVISED DATE JANUARY 2, 2013. "OTHER AREAS ZONE X" IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN." LOCATION DETERMINED BY A SCALED GRAPHICAL PLOT OF THE FLOOD INSURANCE RATE MAP.

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 JUNCTION CITY, KS | KANSAS CITY, MO | LENEXA, KS | SALINA, KS

DATE OF PREPARATION: JULY 15, 2016 PROJECT NO. A13_6441-2 SHEET 1 OF 2

